

**PROPOSED TWO STOREY DWELLING WITH POOL
AT 9 QUEENSBURY ROAD, PADSTOW HEIGHTS (Lot A)**



DRAWING LIST	
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A01.02	SITE PLAN & ROOF PLAN, SITE ANALYSIS PLAN
A01.03	WASTE MANAGEMENT PLAN AND SEDIMENT & EROSION CONTROL PLAN
A01.04	LANDSCAPING PLAN
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A13.04	3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN
A13.05	3 HOURS OF SUNLIGHT TO 50% POS - 20TH MAR
A14	BASIX REQUIREMENTS
A15	NOTIFICATION PLANS



ALL STANDARDS AND CODES INCLUDING BUT NOT LIMITED TO THE BCA/ NCC AND ANY REFERENCED AS/NZS STANDARD TO APPLY AND BE CONFORMED WITH AS REQUIRED.

- ALL DEMOLITION WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH AS 2601 - 2001 (THE DEMOLITION OF STRUCTURES)
- CONVENTIONAL TIMBER ROOF FRAMING TO COMPLY WITH AS 1684.4-2006 TIMBER FRAMING CODE - COMPLY WITH PART 3.4.3 OF BCA - WALL CLADDING 3.5.3
- STEEL ROOF TO BE INSTALLED WITH A THERMAL BREAK WITH R-VALUE OF NOT LESS THAN 0.2 IN ACCORDANCE WITH NSW 13.2.3. (1)(2) OF BCA 2022
- METAL FRAME EXTERNAL WALLS TO BE INSTALLED WITH A THERMAL BREAK WITH AN R-VALUE OF NOT LESS THAN 0.2 IN ACCORDANCE WITH NSW 13.2.5(1)(2)
- STEEL STRUCTURES TO AS 4100
- RESIDENTIAL SLABS AND FOOTINGS TO AS 2870
- DAMP PROOF COURSE AND FLASHINGS TO AS 2904
- All Glazing to be in accordance with H1 D8 of BCA 2022
- SKYLIGHTS, EXTERNAL WINDOWS AND DOORS, EXHAUST FANS, CONSTRUCTION OF CEILINGS, WALLS AND FLOORS, EVAPORATIVE COOLERS TO BE SEALED IN ACCORDANCE WITH PART 13.4.(2)(3)(4)(5)(6)(7) OF BCA 2022.
- INSULATION MUST COMPLY WITH AS/NZS 4859.1 AND TO BE INSTALLED IN ACCORDANCE WITH PART 13.2.2(1)(2)(3) OF BCA 2022
- INSULATION OF SERVICES, CENTRAL HEATING WATER PIPING, HEATING AND COOLING DUCTWORK TO BE COMPLETED IN ACCORDANCE WITH PART 13.7(2)(3)(4) OF BCA 2022.
- HARD WIRED SMOKE ALARM TO BE INSTALLED IN ACCORDANCE WITH PART NSW 9.5.1 OF NCC 2022
- WATERPROOFING TO WET AREAS AND BATHROOM CONSTRUCTION TO BE IN ACCORDANCE WITH AS 3740-1994 WATERPROOFING OF WET AREAS WITH IN RESIDENTIAL BUILDINGS + PART 2.1, PART3.8.1 OF BCA

- TREATMENT FOR THE PROTECTION OF THE BUILDING FROM SUBTERRANEAN TERMITES SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 3660.1. IN SELECTING APPROPRIATE MATERIAL + COMPLY WITH PART 3.1.3 OF THE BCA.
- SUB FLOOR VENTILATION UNDER SUSPENDED FLOORS MUST BE IN ACCORDANCE WITH PART 3.4.1 OF THE BCA.
- NON-SLIP NOSING'S OR TREADS TO STAIRS TO COMPLY WITH CLAUSE 3.9.1.4 OF THE BCA
- ALL MASONRY WALLS TO HAVE EXPANSION JOINTS TO COMPLY WITH BCA REQUIREMENTS
- FIRE RATED MASONRY WALL WITH AN FRL OF 60/60/60 AS PER PART 9.2.3 OF NCC 2022
- A HIGH IMPACT VAPOR BARRIER TO COMPLY AS PER THE REQUIREMENTS OF CLAUSE 3.2.2.6 OF THE BCA
- MASONRY CONSTRUCTION TO COMPLY WITH AS 3700
- GUTTERS AND DOWNPIPES TO COMPLY WITH AS 3500.3 OR 3500.5
- ALL ENCLOSED WATER CLOSET DOORS ARE TO SWING OUT OR TO BE PROVIDED WITH LIFT OFF HINGES OR THE LIKE IF THE DOOR IS WITHIN 1200MM OF THE PAN IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 3.8.3.3 OF VOLUME 2 OF THE NCCS (BCA)
- ALL STAIRS WILL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 3.9.1.2 OF VOLUME 2 OF THE NCCS-BCA
- THE FINISH OF ALL OF THE STAIRS WILL MEET THE REQUIREMENTS OF CLAUSE 3.9.1.4 OF VOLUME 2 OF THE NCCS-BCA
- ALL LANDINGS PROVIDED WILL MEET THE REQUIREMENTS OF CLAUSE 3.9.1.5 OF VOLUME 2 OF THE NCCS-BCA
- PAINTING TO AS 2311
- HOUSING WIND LOADINGS AS 4055
- MECHANICAL VENTILATION TO BE PROVIDED AS PER BCA PART 10.6.3, 10.8.2 & 10.8.3

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						<p>DESIGNED BY: A.N.</p> <p>DATE: 15.11.2024</p>	
A	13.12.2024	ISSUED FOR DA	DK			<p>DRAWN BY: A.N.</p> <p>SCALE: AS SHOWN</p>	
REV	DATE	DESCRIPTION	BY				

ROAD

QUEENSBURY

BENCHMARK
RL 24.08

EXISTING TREES TO BE
REMOVED

0.7ø
18S
14H

0.35ø
8S
7H

ALL EXISTING
PAVING TO BE
DEMOLISHED

EXISTING STREET TREE TO BE CUT & REPLACED
WITH NEW TREE PLANTING

11
DP 833353

A
DP 409706
632.3m²

VACANT

123
DP 818660

(A) DRAINAGE EASEMENT 4.57 WIDE

EXISTING TREES TO BE
REMOVED

0.7ø
16S
20H

1 DEMOLITION PLAN
1 : 200

LEGEND:



SITE BOUNDARY



ITEMS TO BE DEMOLISHED IN ACCORDANCE TO
"AS2601 - 2001 THE DEMOLITION OF STRUCTURES"

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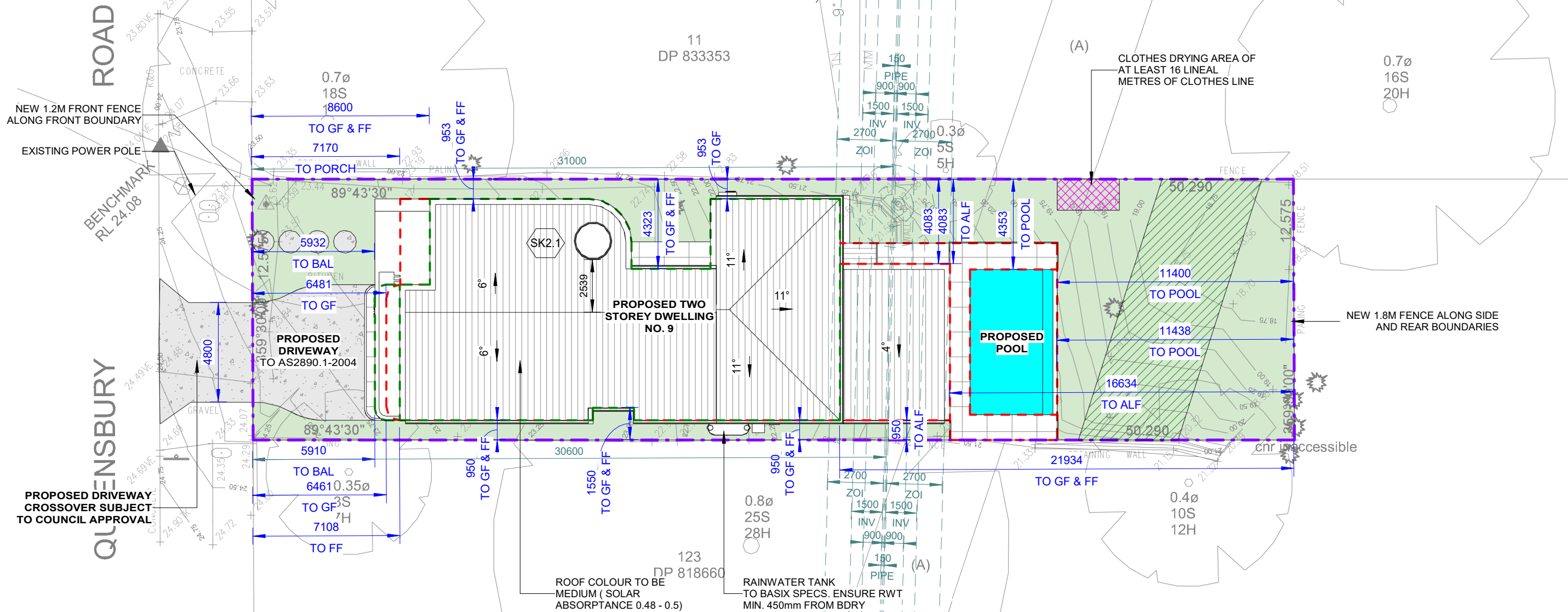
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**PROPOSED TWO STOREY DWELLING WITH
POOL**
9 QUEENSBURY ROAD, PADSTOW HEIGHTS
Lot A, DP 409706

DEMOLITION PLAN

JOB NUMBER: 24554	DWG NUMBER: A01.01	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 15.11.2024	
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(A) DRAINAGE EASEMENT 4.57 WIDE

SITE PLAN & ROOF PLAN, SITE ANALYSIS PLAN

1 : 200

LEGEND:

- SITE BOUNDARY
- PROPOSED GROUND FLOOR OUTLINE
- PROPOSED FIRST FLOOR OUTLINE

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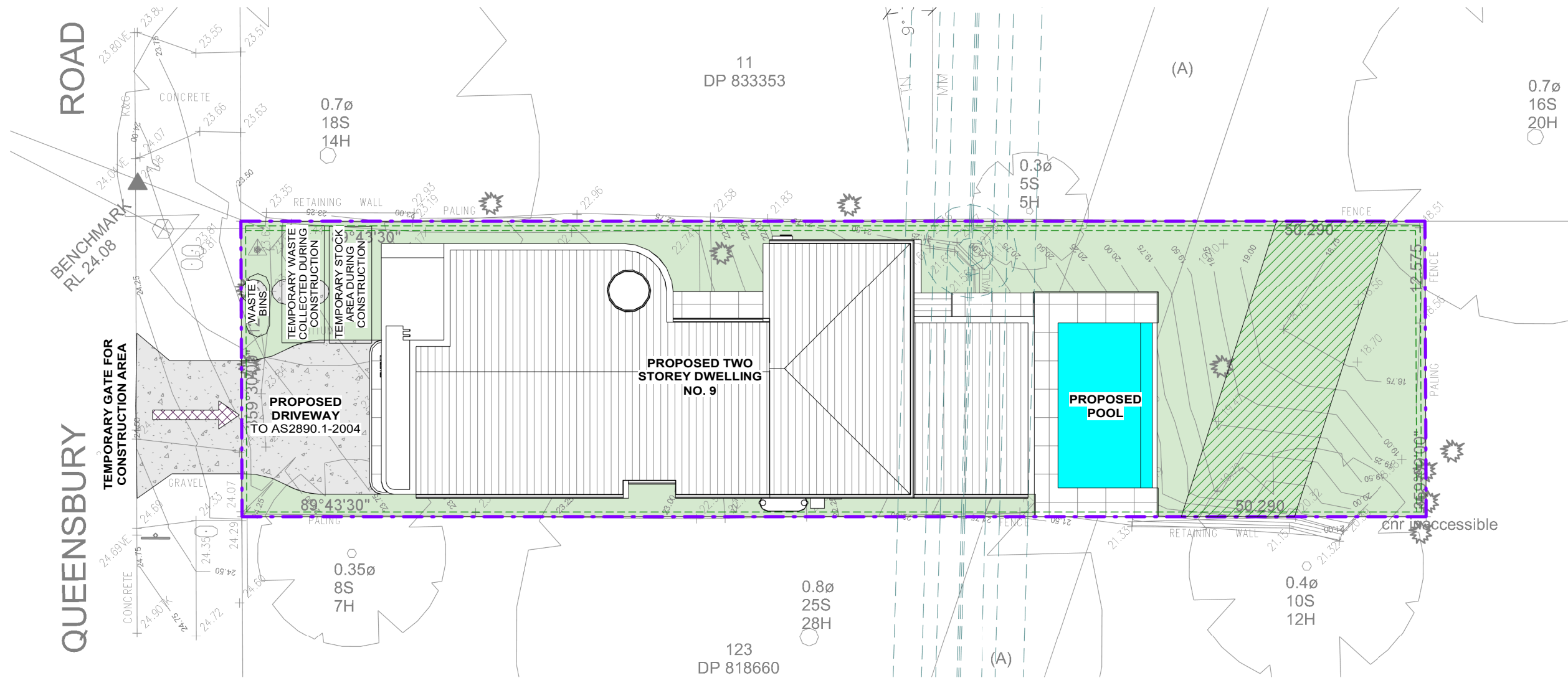
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**PROPOSED TWO STOREY DWELLING WITH
POOL**
9 QUEENSBURY ROAD, PADSTOW HEIGHTS
Lot A, DP 409706
**SITE PLAN & ROOF PLAN, SITE ANALYSIS
PLAN**

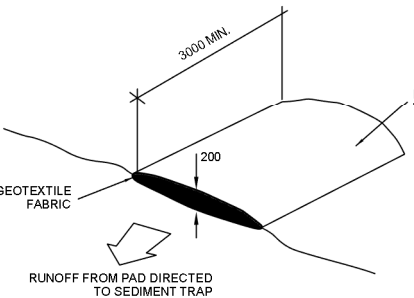
JOB NUMBER: 24554	DWG NUMBER: A01.02	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 15.11.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	

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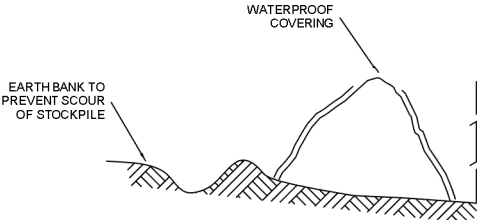
1 WASTE MANAGEMENT PLAN AND SEDIMENT & EROSION CONTROL PLAN
1 : 200

- LEGEND:**
- SITE BOUNDARY
 - SEDIMENT CONTROL FENCE
 - TEMPORARY FENCE



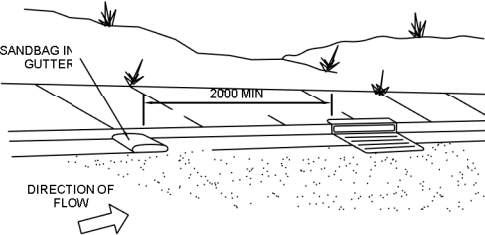
VEHICLE ACCESS TO SITE

NTS
VEHICLE ACCESS TO THE BUILDING SITE SHOULD BE RESTRICTED TO A SINGLE POINT SO AS TO REDUCE THE AMOUNT OF SOIL DEPOSITED ON THE STREET PAVEMENT.



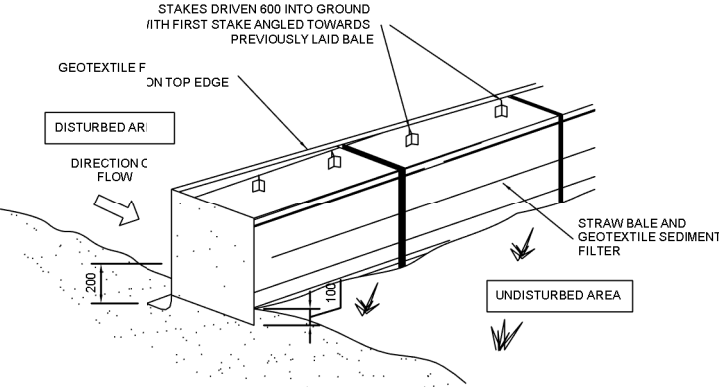
BUILDING MATERIAL STOCKPILES

NTS
ALL STOCKPILES OF BUILDING MATERIAL SUCH AS SAND AND SOIL MUST BE PROTECTED TO PREVENT SCOUR AND EROSION.
THEY SHOULD NEVER BE PLACED IN THE STREET GUTTER WHERE THEY WILL WASH AWAY WITH THE FIRST RAINSTORM.



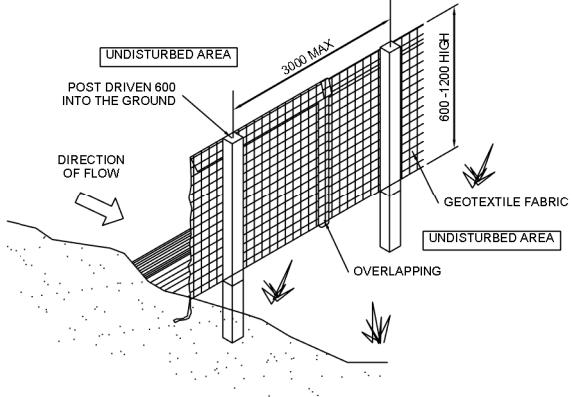
SANDBAG KERB SEDIMENT TRAP

NTS
CERTAIN CIRCUMSTANCES EXTRA SEDIMENT TRAPPING MAY BE NEEDED IN THE STREET GUTTER.



STRAW BALE DETAIL

NTS



SEDIMENT AND EROSION FENCE DETAIL

NTS

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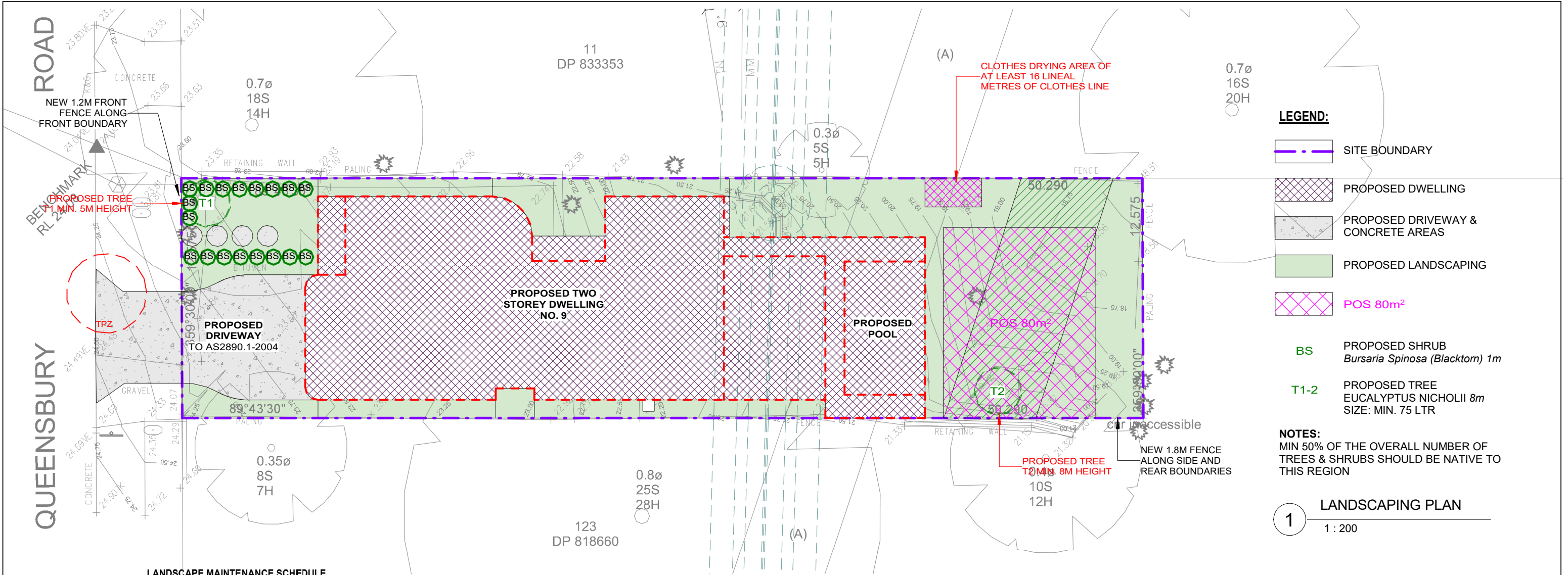


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PROPOSED TWO STOREY DWELLING WITH POOL
9 QUEENSBURY ROAD, PADSTOW HEIGHTS
Lot A, DP 409706

WASTE MANAGEMENT PLAN AND SEDIMENT & EROSION CONTROL PLAN

JOB NUMBER: 24554	DWG NUMBER: A01.03	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 15.11.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	

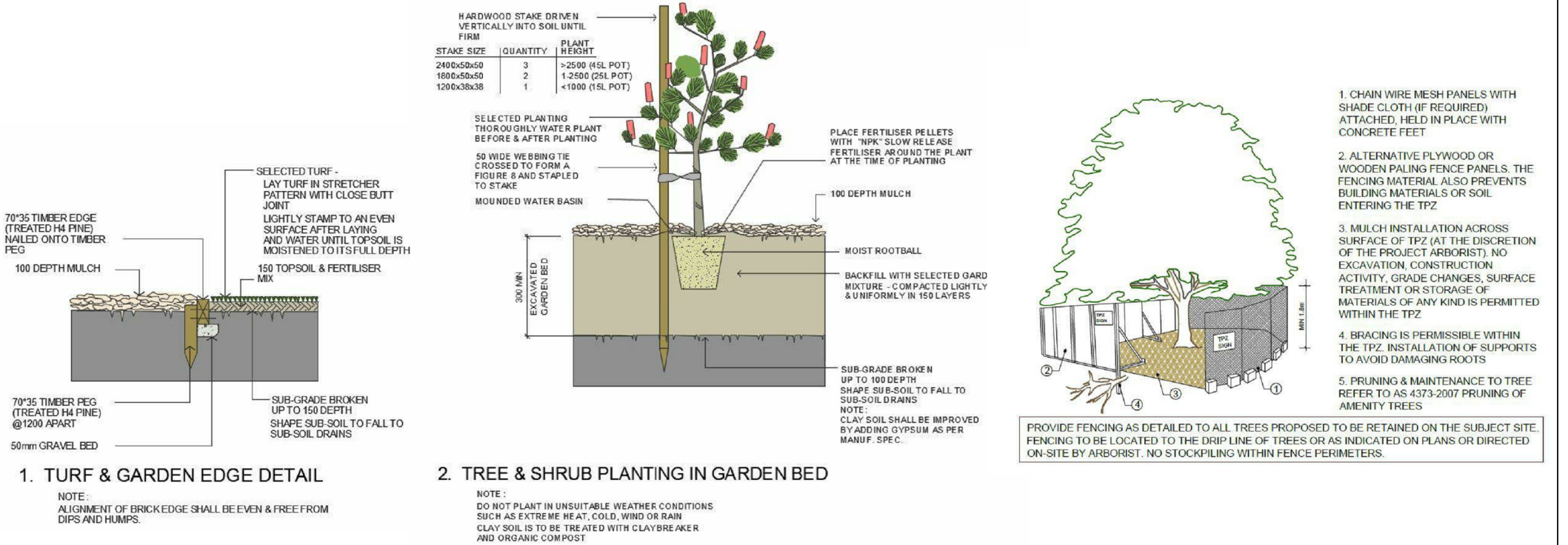


LANDSCAPE MAINTENANCE SCHEDULE

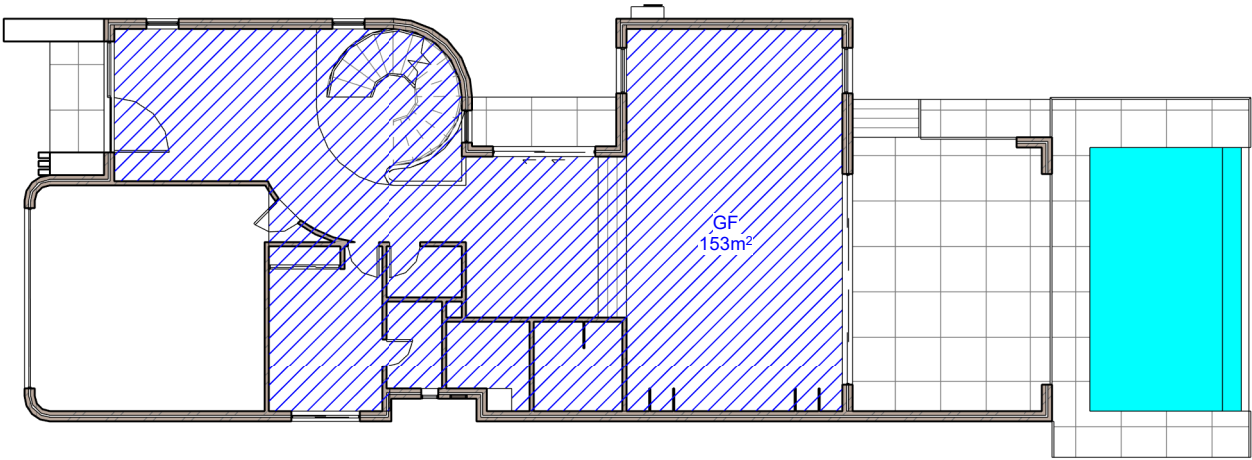
Task	MONTH	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
CARE OF PLANTS													
Monitoring													
Pruning (if needed)													
Deadhead plants													
Fertilization													
Cut back perennials & grasses													
Watering - as needed													
PLANTING BEDS													
Edging													
Weeding - as needed													
Mulching													
Soil testing													
Leaf Removal (if needed)													
PEST MANAGEMENT													
Monitoring													
LAWNS													
Fertilize/Lime													
Seeding													
WINTER CLEAN UP													
SNOW REMOVAL PLAN													

2. Minimum soil standards for plant sizes are provided in accordance with the Table below.

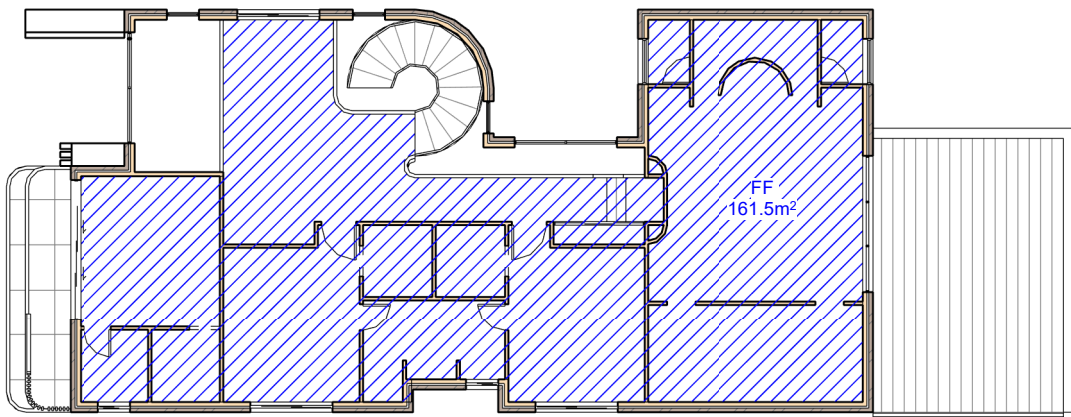
Tree Size	Height	Spread	Min Soil Area	Min soil depth
Large trees	>12m	>8m	10 x 10m	1200mm
Medium trees	8-12m	4-8m	6 x 6m	1000mm
Small trees	5-8m	<4m	3.5 x 3.5m	800mm
Shrubs	-	-	n/a	500-600mm
Groundcover	-	-	n/a	300-450mm
Turf	-	-	n/a	200mm



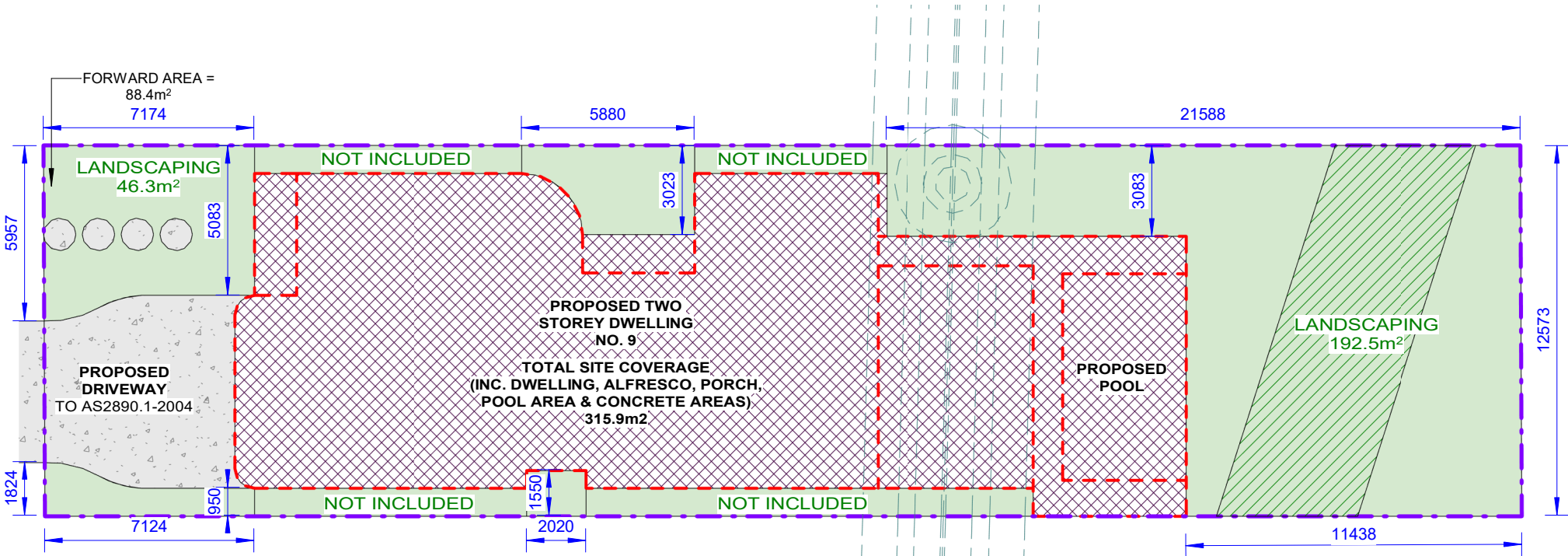
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DESIGNED BY: A.N.				DATE: 15.11.2024		DRAWN BY: A.N.		SCALE: AS SHOWN		
STRUCTURAL ENGINEERING & ARCHITECTURAL DESIGN						LANDSCAPING PLAN				



1 FSR - Ground Floor
1 : 200



2 FSR - First Floor
1 : 200



3 LANDSCAPING
1 : 200

SITE CALCULATIONS	
FLOOR AREA CALCULATIONS	
SITE AREA:	632.2m ²
AREA OF PROPOSED GROUND FLOOR:	153.2m ²
AREA OF PROPOSED FIRST FLOOR:	161.5m ²
MAXIMUM ALLOWABLE FLOOR AREA 50% OF SITE AREA = 0.5 x 632.2m ²	316.1m ²
PROPOSED TOTAL FLOOR AREA:	314.5m ² > 316.1m ²
SITE COVERAGE CALCULATIONS	
PROPOSED SITE COVERAGE: (INC. DWELLING, PORCH, ALFRESCO, POOL AREA & CONCRETE AREAS)	315.9m ² (50.0%)
LANDSCAPING CALCULATIONS	
MIN. LANDSC. FORWARD OF BUILDING LINE: 45% OF THE FORWARD AREA = 0.45 x 88.4m ²	39.8m ²
PROPOSED LANDSCAPING AT FRONT:	46.3m ² > 39.8m ² OK
PROPOSED LANDSCAPING AT REAR:	192.5m ²
PROPOSED TOTAL LANDSCAPING:	238.3m ² (37.7%)
FRONT IMPERVIOUS AREA CALCULATIONS	
MAX. IMPERVIOUS AREA FORWARD OF BUILDING LINE: 55% OF THE FORWARD AREA = 0.55 x 88.4m ²	48.6m ²
PROPOSED IMPERVIOUS AREA AT FRONT: (INCLUD. DRIVEWAY & PATHS)	43.2m ² < 48.6m ² OK

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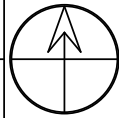
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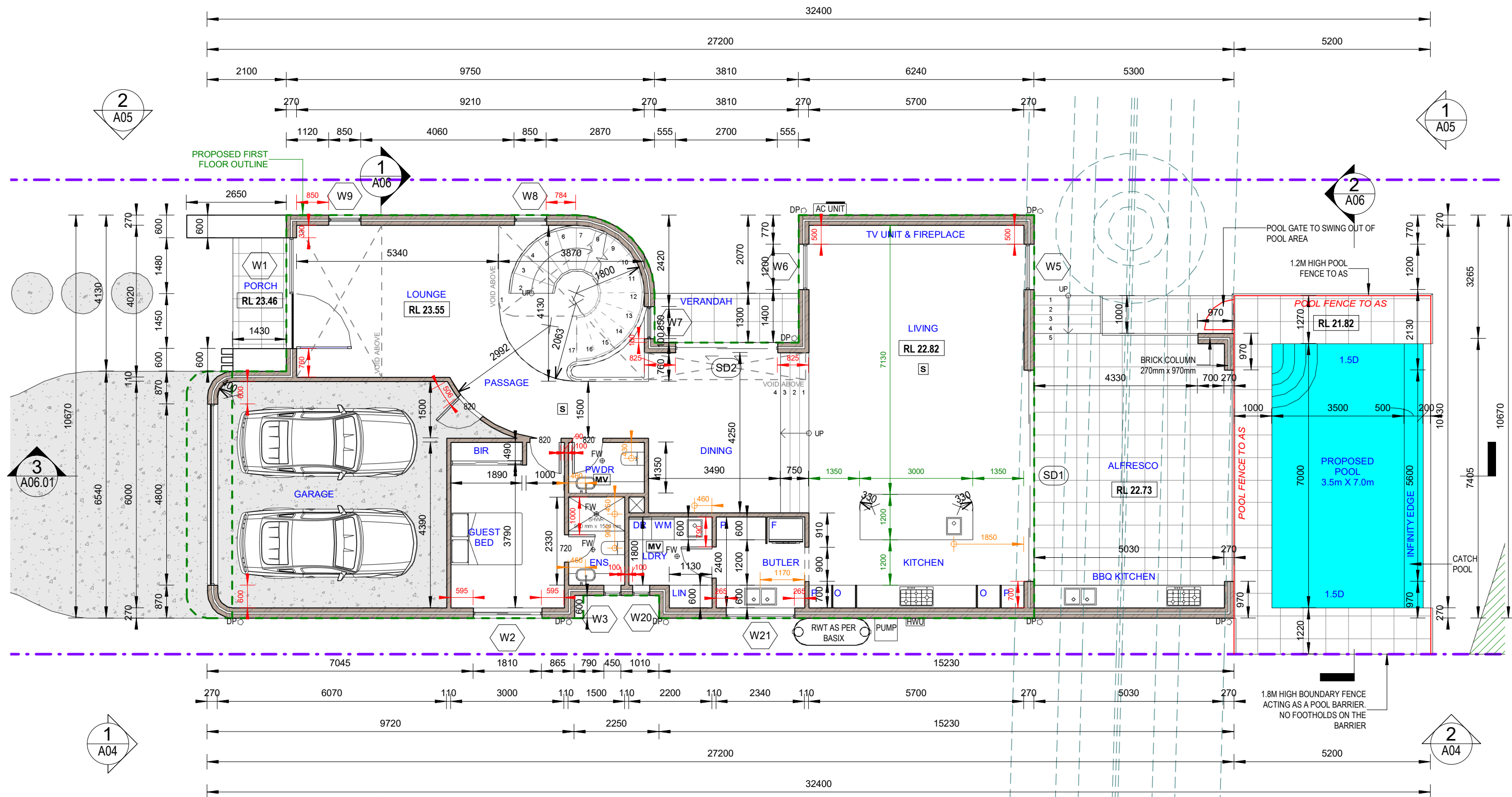
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PROPOSED TWO STOREY DWELLING WITH POOL
9 QUEENSBURY ROAD, PADSTOW HEIGHTS
Lot A, DP 409706

SITE CALCULATIONS

JOB NUMBER: 24554	DWG NUMBER: A01.05	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 15.11.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	



PROPOSED GROUND FLOOR PLAN

1 : 100

- [S] SMOKE ALARM SYSTEM
- [MV] MECHANICAL VENTILATION
- - - PROPOSED FIRST FLOOR OUTLINE

- NOTES:
1. Required pool dimensions to be confirmed on site by builder.
 2. Proposed pool to comply with AS 1926.1-2012.
 3. Pool backwash to be connected to sewer.
 4. Pool gates with child resistant barrier.
 5. Pool gates to open away from pool area.
 6. Pool fencing to be non-combustible.
 7. Boundary fence (acting as pool barrier) to be min. 1.80m high from the level of pool decking. No footholds on the barrier.

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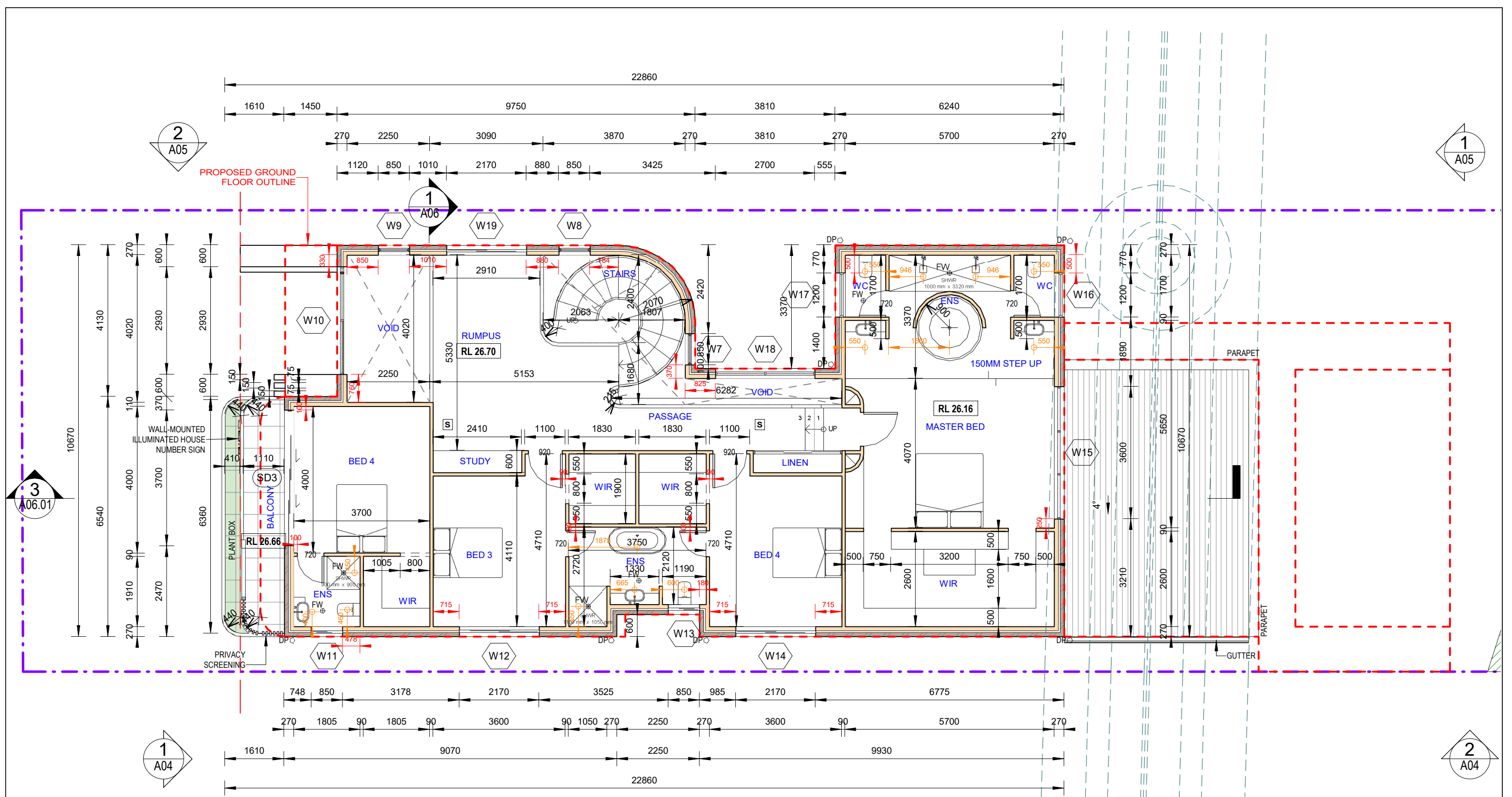
PROPOSED TWO STOREY DWELLING WITH POOL

9 QUEENSBURY ROAD, PADSTOW HEIGHTS
Lot A, DP 409706

PROPOSED GROUND FLOOR PLAN

JOB NUMBER: 24554	DWG NUMBER: A02	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 15.11.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	

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1 PROPOSED FIRST FLOOR PLAN
1 : 100

[S] SMOKE ALARM SYSTEM
[MV] MECHANICAL VENTILATION
- - - PROPOSED GROUND FLOOR OUTLINE

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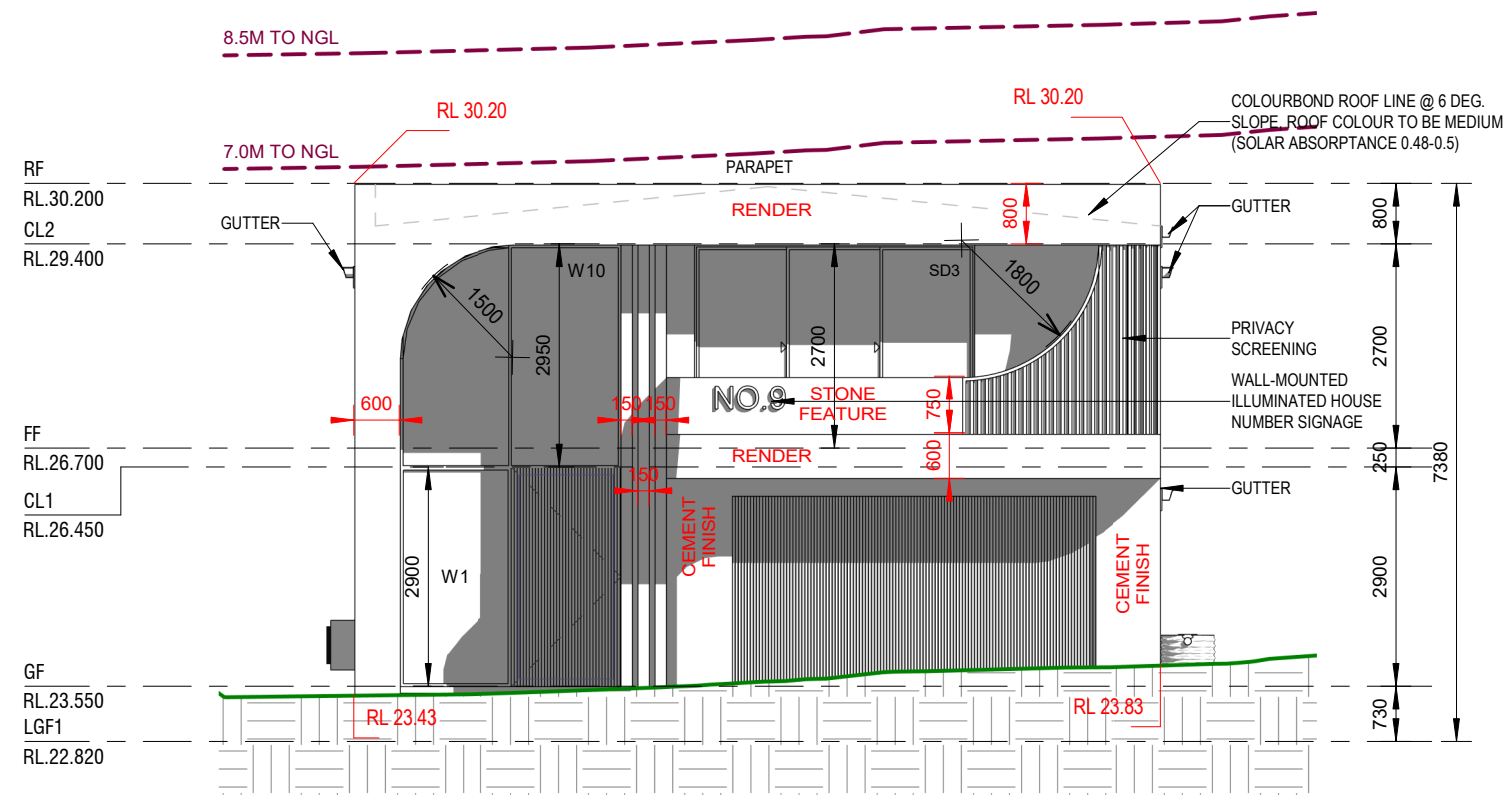
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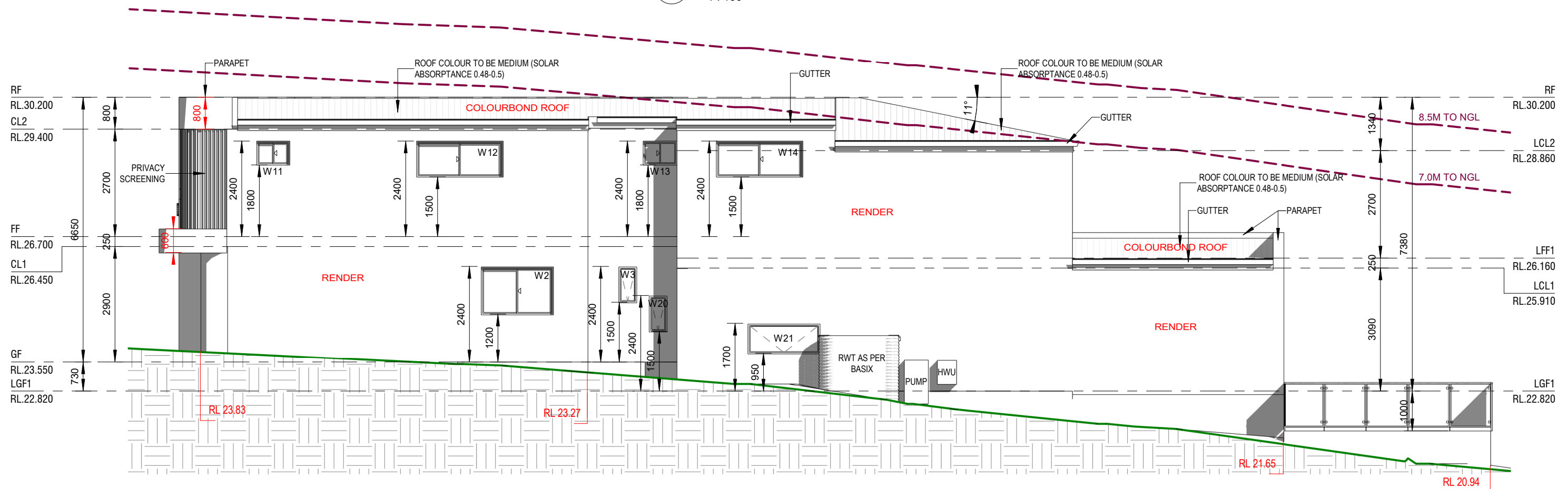
PROPOSED TWO STOREY DWELLING WITH POOL
9 QUEENSBURY ROAD, PADSTOW HEIGHTS
Lot A, DP 409706

PROPOSED FIRST FLOOR PLAN

JOB NUMBER: 24554	DWG NUMBER: A03	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 15.11.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	



1 WEST ELEVATION
1 : 100



2 SOUTH ELEVATION
1 : 100

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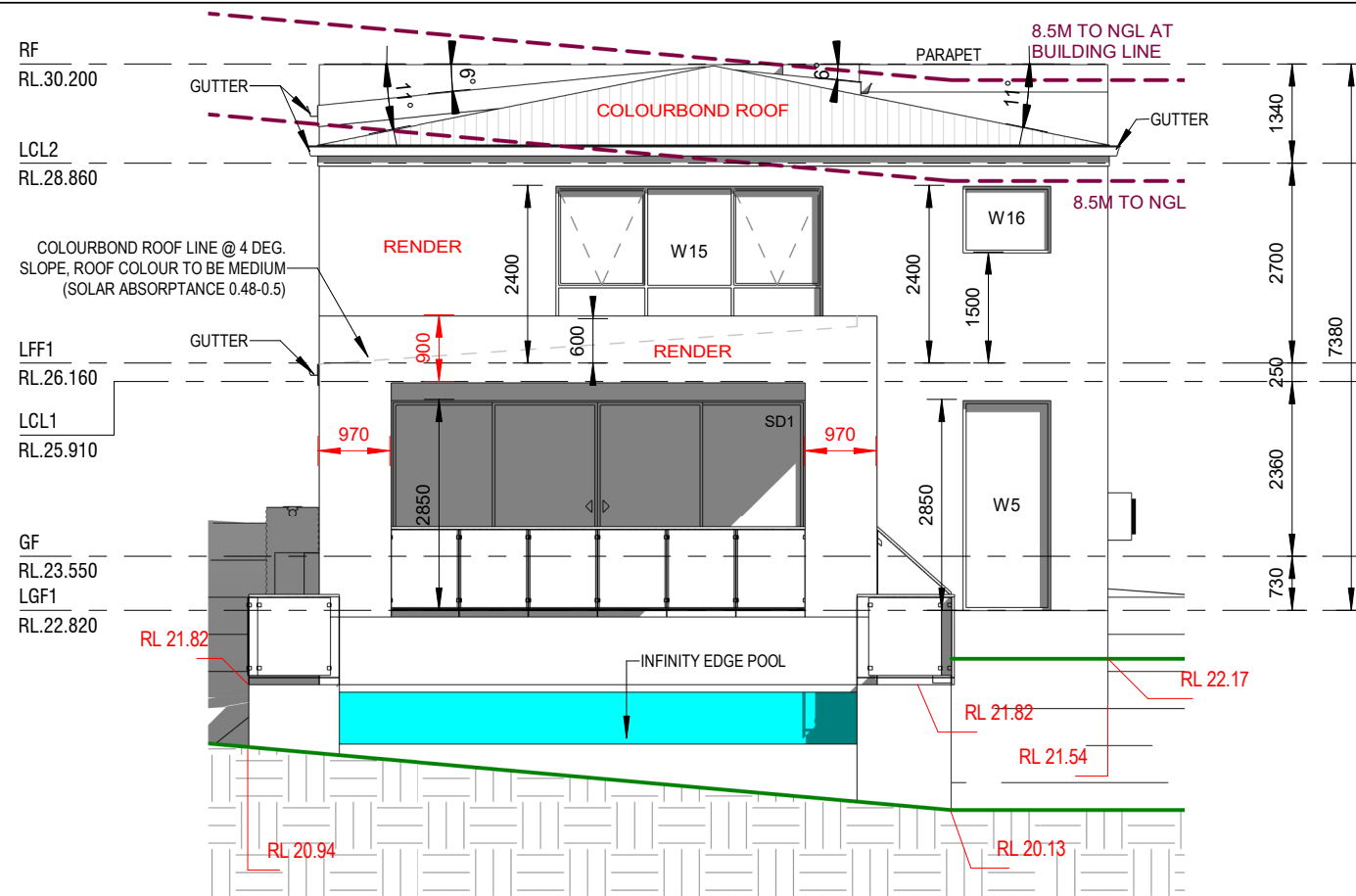
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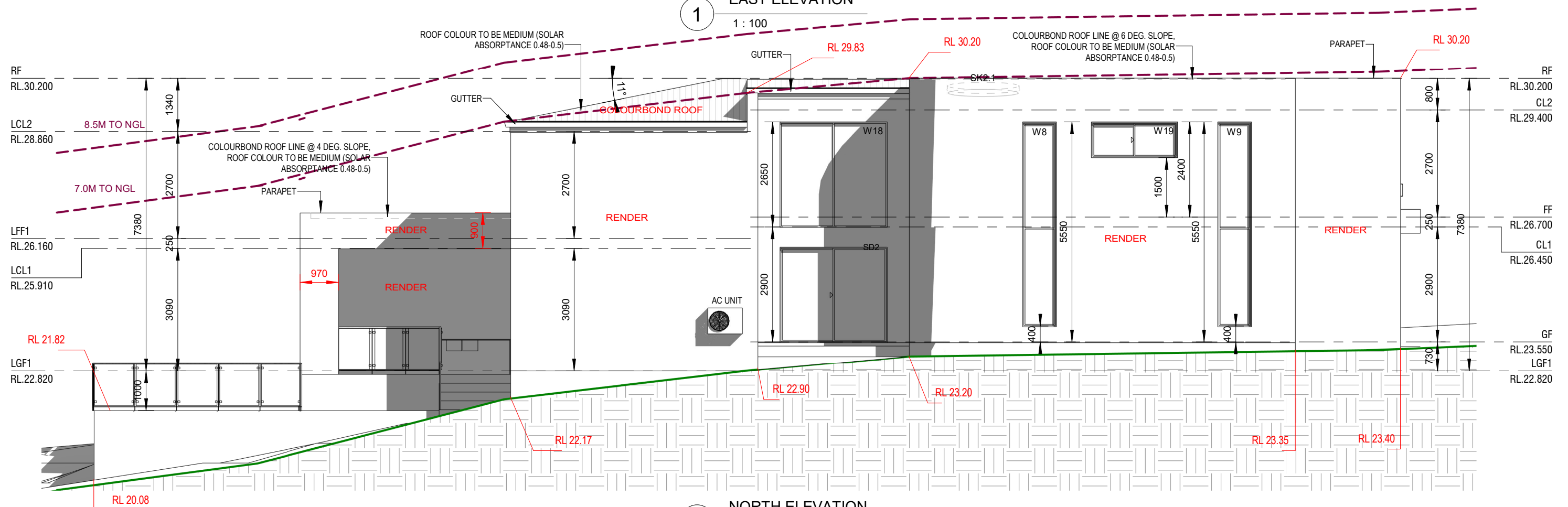
**PROPOSED TWO STOREY DWELLING WITH
POOL**
9 QUEENSBURY ROAD, PADSTOW HEIGHTS
Lot A, DP 409706
ELEVATIONS - PART 1

JOB NUMBER: 24554	DWG NUMBER: A04	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 15.11.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	

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1
EAST ELEVATION
1 : 100



2
NORTH ELEVATION
1 : 100

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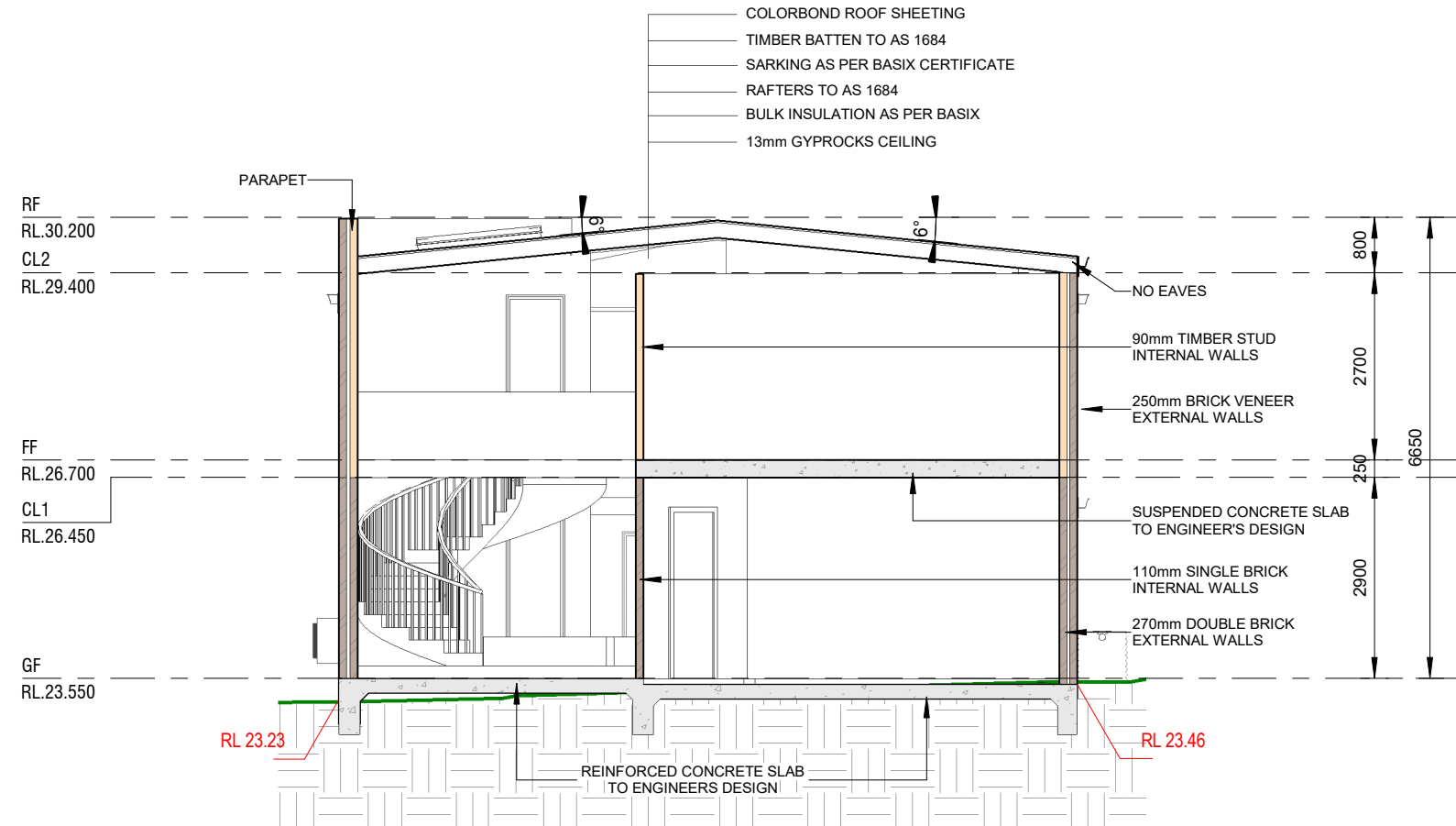
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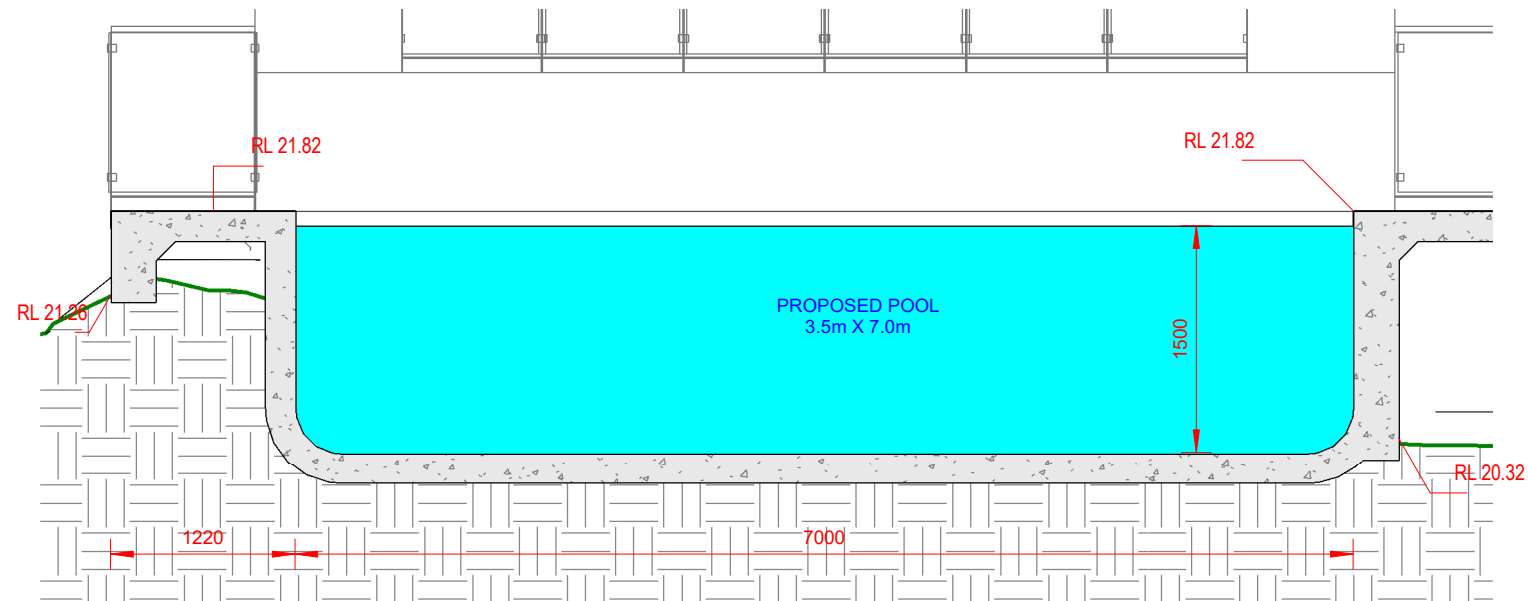
**PROPOSED TWO STOREY DWELLING WITH
POOL**
9 QUEENSBURY ROAD, PADSTOW HEIGHTS
Lot A, DP 409706

ELEVATIONS - PART 2

JOB NUMBER: 24554	DWG NUMBER: A05	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 15.11.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	



1 SECTION
1 : 100



2 POOL SECTION
1 : 50

REV	DATE	DESCRIPTION	BY
A	13.12.2024	ISSUED FOR DA	DK

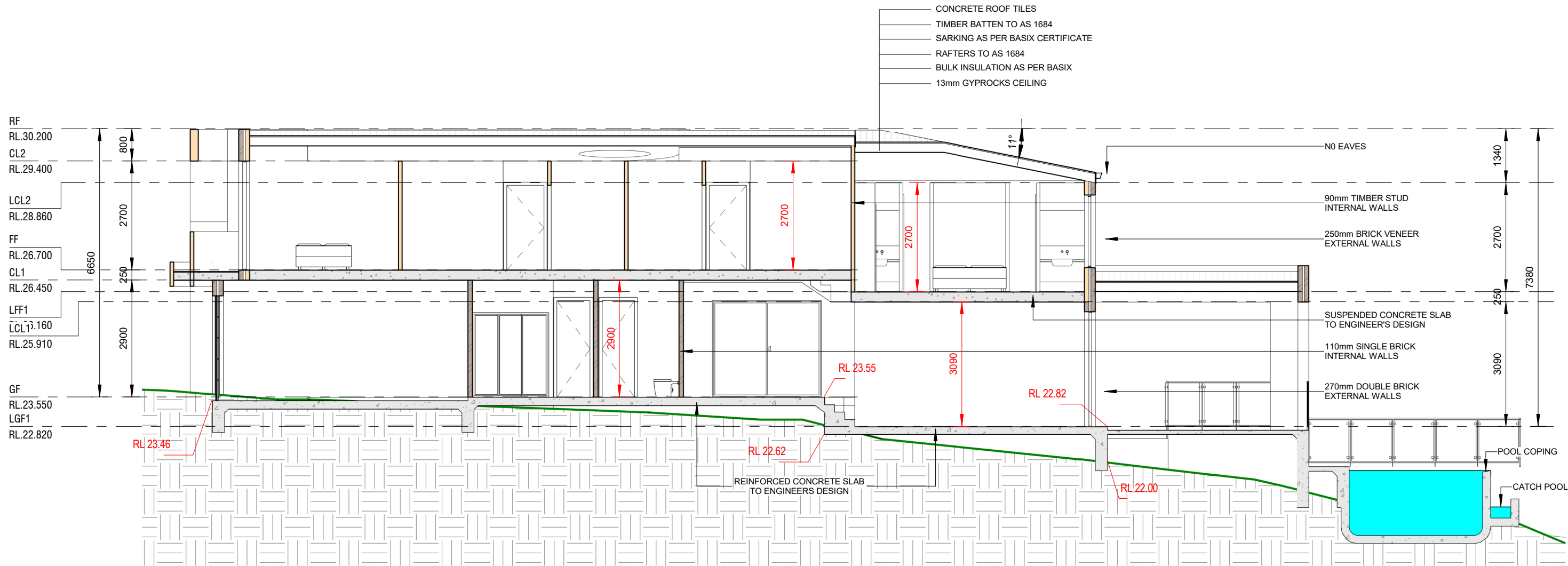
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**PROPOSED TWO STOREY DWELLING WITH
POOL**
9 QUEENSBURY ROAD, PADSTOW HEIGHTS
Lot A, DP 409706
SECTION & POOL SECTION

JOB NUMBER: 24554	DWG NUMBER: A06	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 15.11.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	



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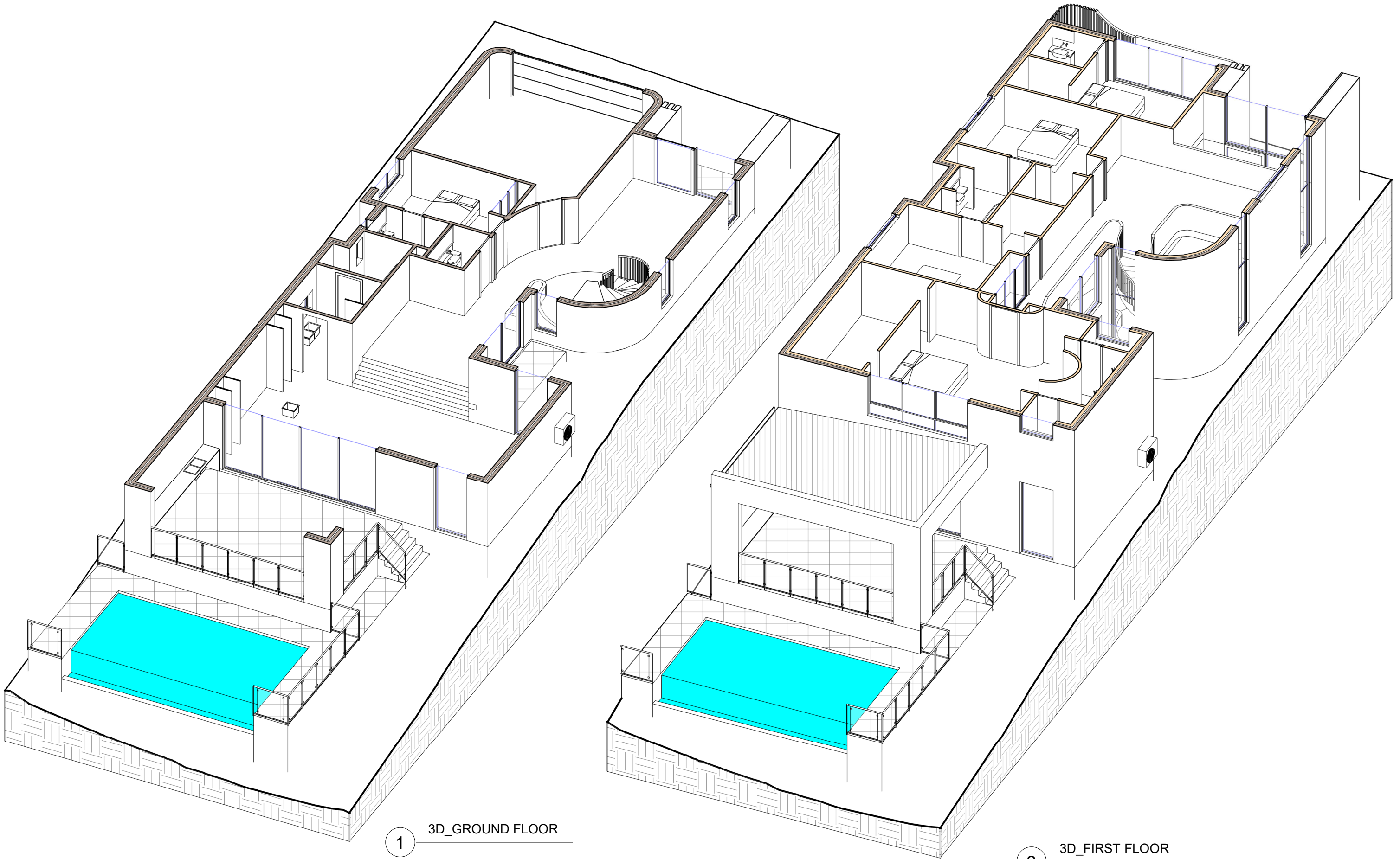
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**PROPOSED TWO STOREY DWELLING WITH
POOL**
9 QUEENSBURY ROAD, PADSTOW HEIGHTS
Lot A, DP 409706
LONGITUDINAL SECTION

JOB NUMBER: 24554	DWG NUMBER: A06.01	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 15.11.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	

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1 3D_GROUND FLOOR

2 3D_FIRST FLOOR

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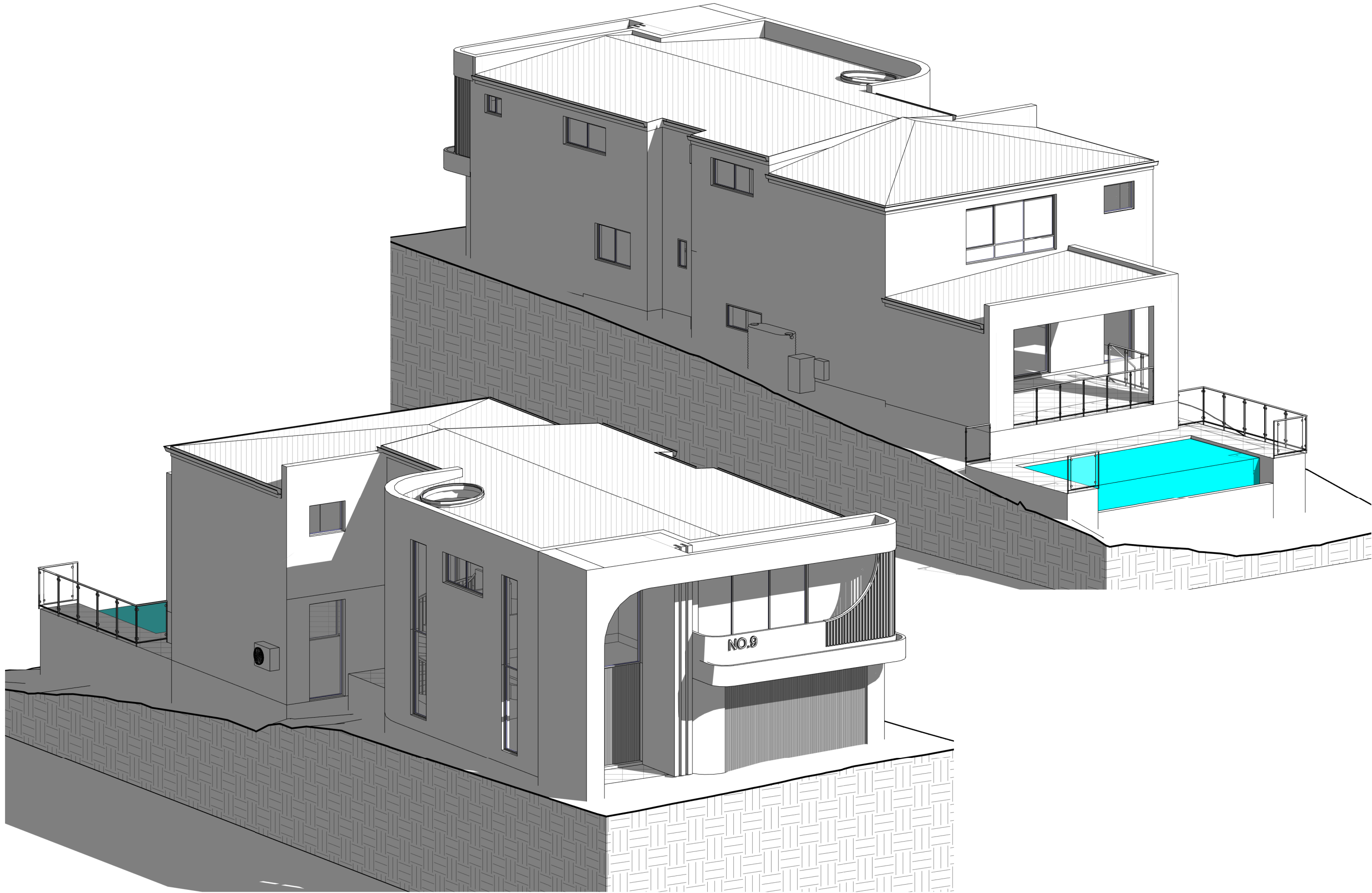
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PROPOSED TWO STOREY DWELLING WITH POOL	
9 QUEENSBURY ROAD, PADSTOW HEIGHTS	
Lot A, DP 409706	
3D_GROUND AND FIRST FLOOR	

JOB NUMBER: 24554	DWG NUMBER: A07	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 15.11.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	



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**PROPOSED TWO STOREY DWELLING WITH
POOL**
9 QUEENSBURY ROAD, PADSTOW HEIGHTS
Lot A, DP 409706

3D_MODEL

JOB NUMBER: 24554	DWG NUMBER: A08	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 15.11.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	



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									DESIGNED BY: A.N.	DATE: 15.11.2024								
									DRAWN BY: A.N.	SCALE: AS SHOWN								
							<p>3D_MODEL</p>											
REV	DATE	DESCRIPTION		BY														
A	13.12.2024	ISSUED FOR DA		DK														

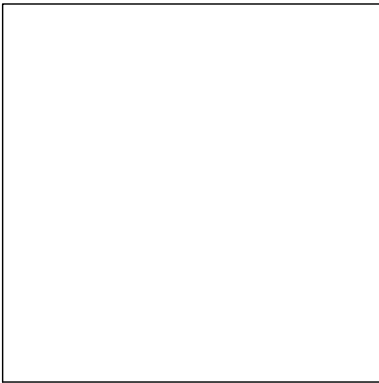
WINDOWS SCHEDULE - DWELLING				
Mark	Height	Width	Area	Level
W1	2900	1480	4.29 m²	GF
W2	1200	1810	2.17 m²	GF
W3	900	450	0.41 m²	GF
W5	2850	1200	3.42 m²	LGF1
W6	2850	1200	3.42 m²	LGF1
W7	5150	850	4.38 m²	GF
W8	5150	850	4.38 m²	GF
W9	5150	850	4.38 m²	GF
W10	2950	2930	8.64 m²	FF
W11	600	850	0.51 m²	FF
W12	900	2170	1.95 m²	FF
W13	600	850	0.51 m²	FF
W14	900	2170	1.95 m²	FF
W15	1800	3600	6.48 m²	LFF1
W16	900	1200	1.08 m²	FF
W17	900	1200	1.08 m²	LFF1
W18	2650	2700	7.16 m²	FF
W19	900	2170	1.95 m²	FF
W20	900	450	0.41 m²	LGF1
W21	750	1810	1.36 m²	LGF1
Grand total: 20			59.92 m²	

GLASS DOORS SCHEDULE - DWELLING				
Mark	Height	Width	Area	Level
SD1	2850	5600	15.96 m²	LGF1
SD2	2400	2700	6.48 m²	GF
SD3	2700	3700	9.99 m²	FF
Grand total: 3			32.43 m²	

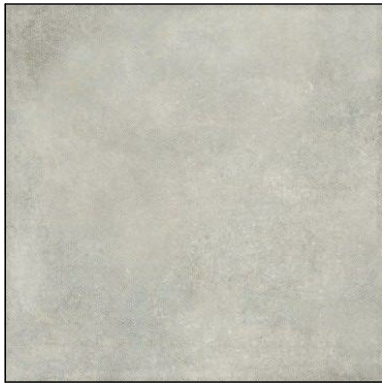
SKYLIGHT SCHEDULE				
Mark	Height	Width	Area	Level
SK2.1	1800	1800	3.24 m²	CL2
Grand total: 1			3.24 m²	



1 SCHEDULE OF FINISHES



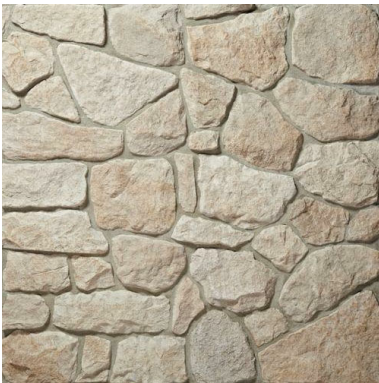
01: WHITE RENDER



02: CONCRETE FINISH



03: WOOD FINISH



04: STONE FINISH



05: ALUMINIUM
WINDOWS & DOORS



06: COLOURBOND
ROOF



07: FASCIA & GUTTER

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**PROPOSED TWO STOREY DWELLING WITH
POOL**
9 QUEENSBURY ROAD, PADSTOW HEIGHTS
Lot A, DP 409706

SCHEDULE OF FINISHES

JOB NUMBER: 24554	DWG NUMBER: A11	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 15.11.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	

No 5



No 9

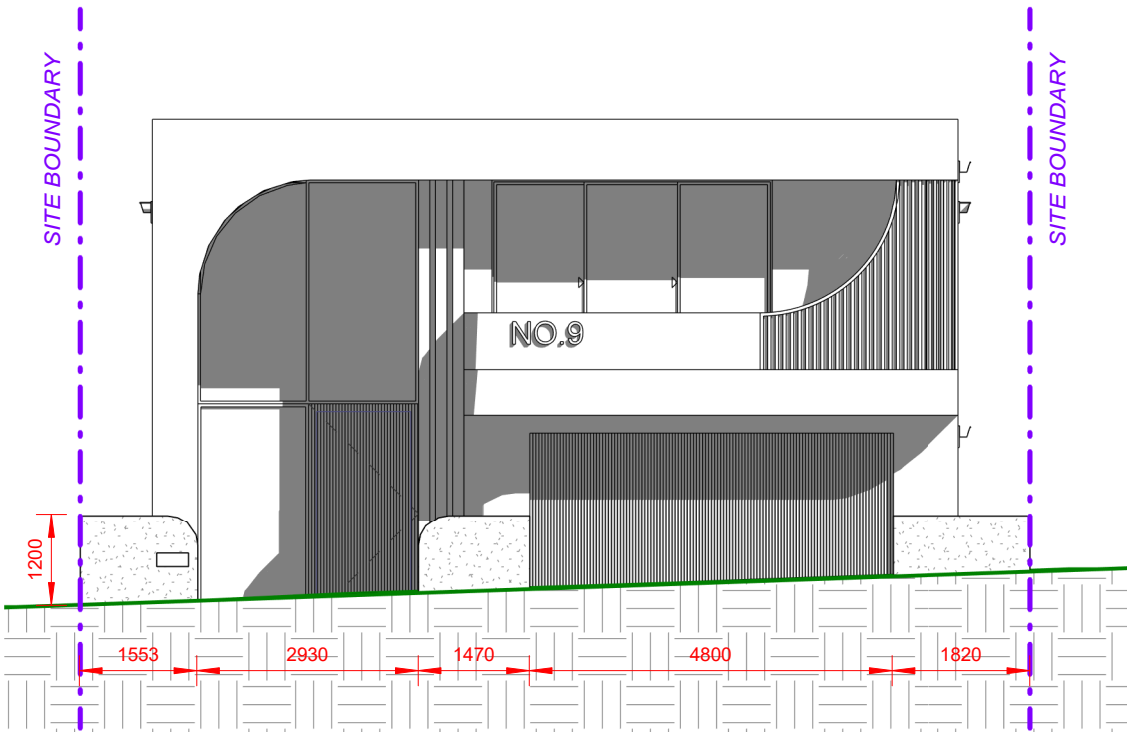


No 13



QUEENSBURY ROAD

1 STREETSCAPE VIEW



1 FRONT FENCE ELEVATION
1 : 100

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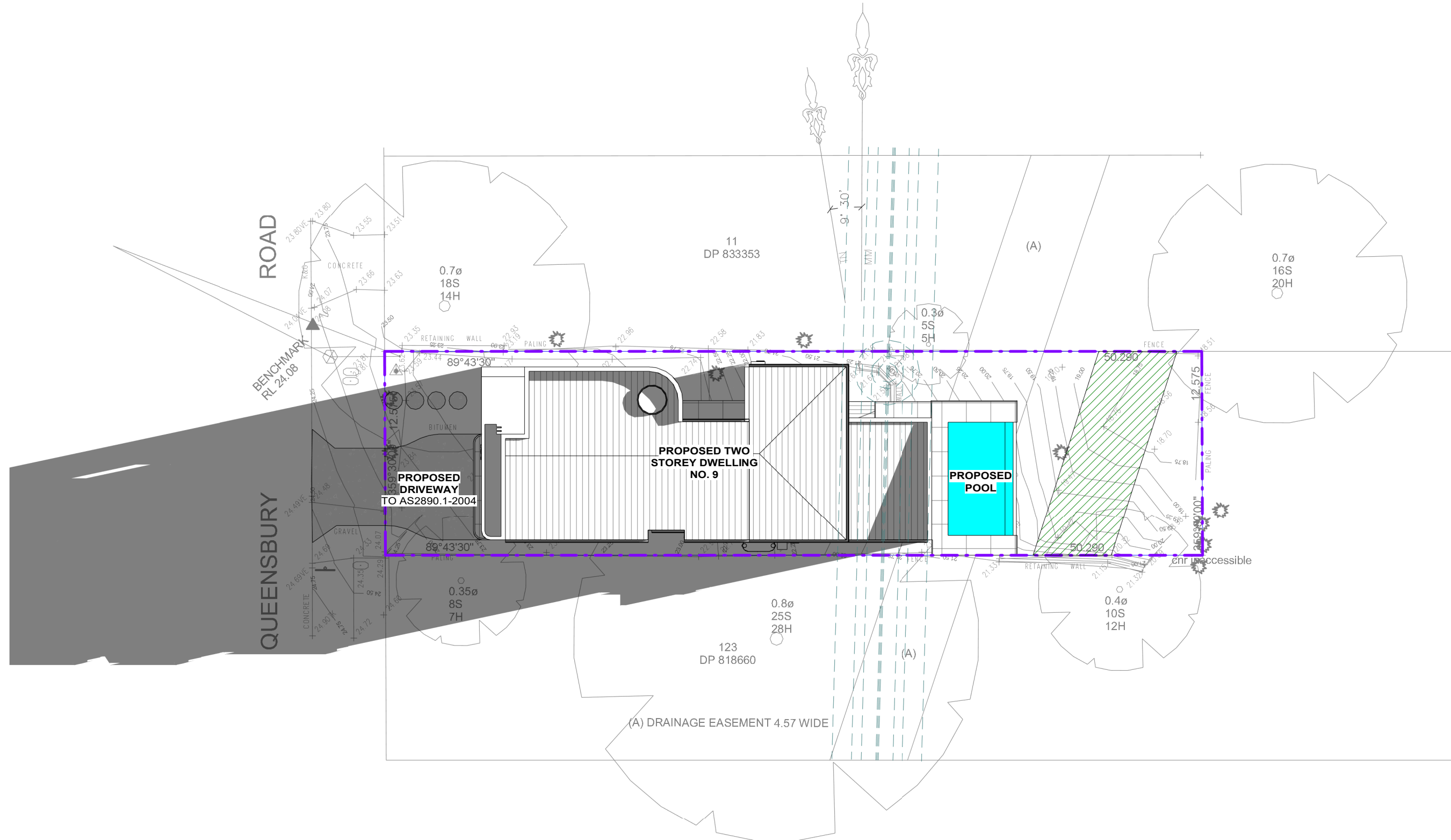
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**PROPOSED TWO STOREY DWELLING WITH
POOL**
9 QUEENSBURY ROAD, PADSTOW HEIGHTS
Lot A, DP 409706

STREETSCAPE VIEW & FRONT FENCE

JOB NUMBER: 24554	DWG NUMBER: A12	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 15.11.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	



1 SHADOW DIAGRAM - 21ST JUN 8AM
1 : 250

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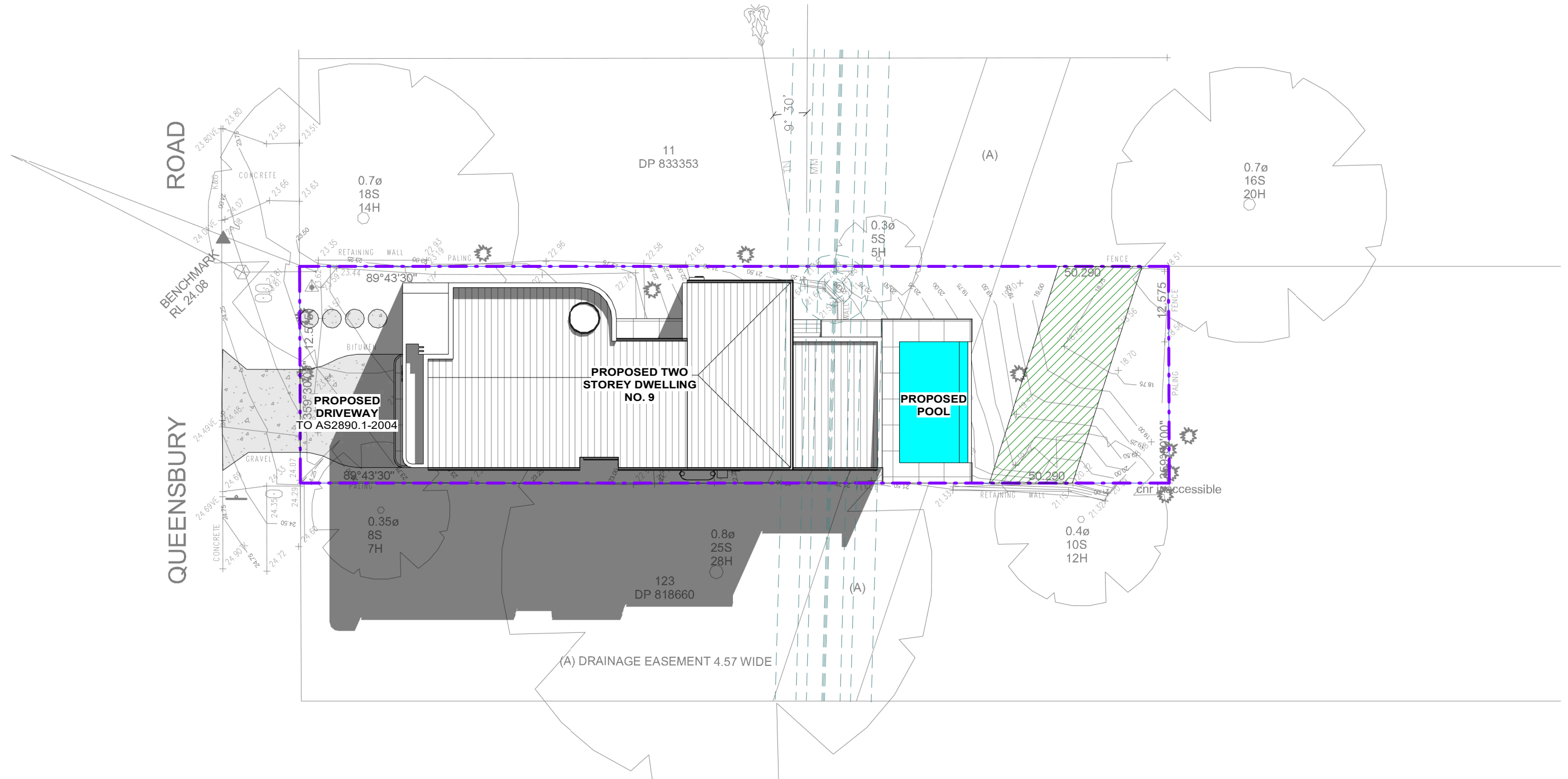
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**PROPOSED TWO STOREY DWELLING WITH
POOL**
9 QUEENSBURY ROAD, PADSTOW HEIGHTS
Lot A, DP 409706

SHADOW DIAGRAM - 21ST JUN 8AM

JOB NUMBER: 24554	DWG NUMBER: A13.01	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 15.11.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	



1 SHADOW DIAGRAM - 21ST JUN 12PM
1 : 250

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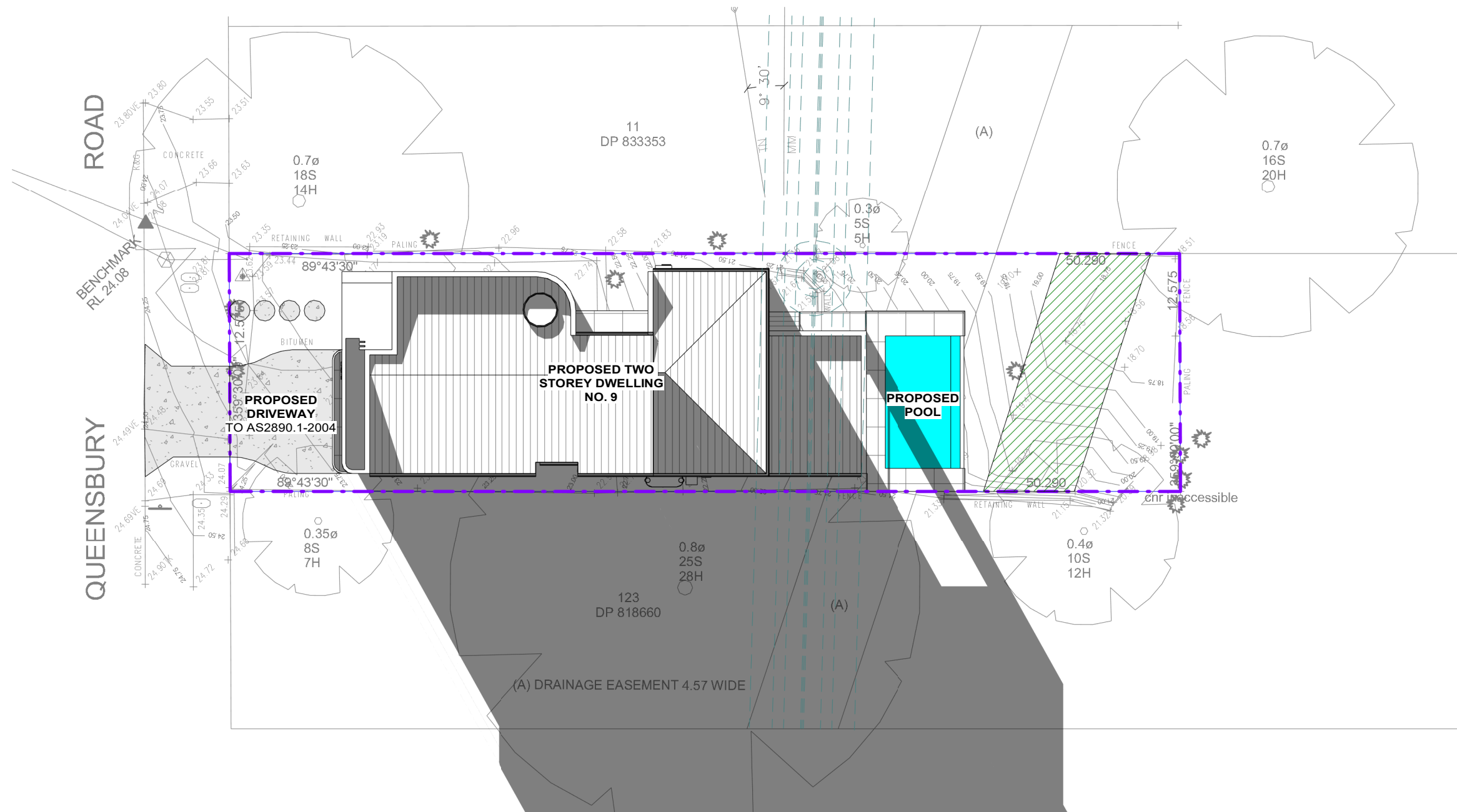
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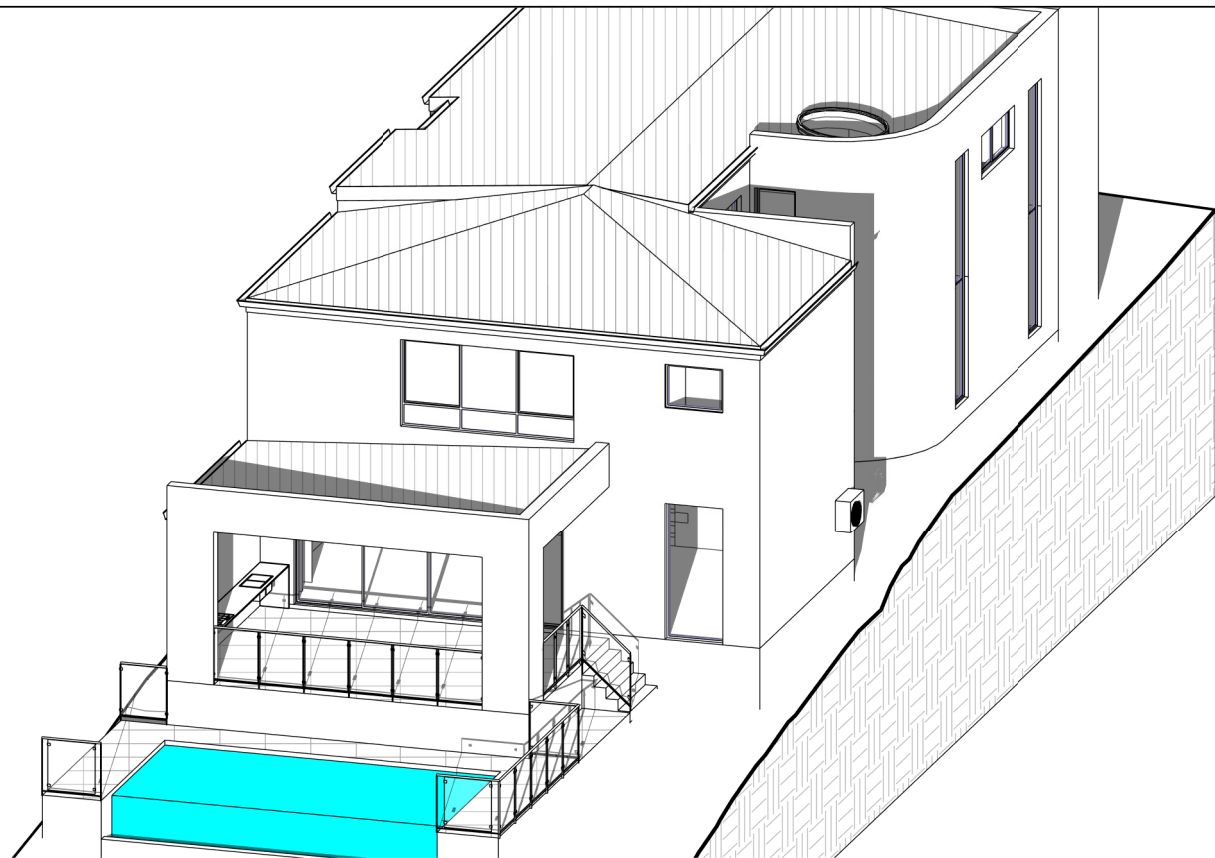
**PROPOSED TWO STOREY DWELLING WITH
POOL**
9 QUEENSBURY ROAD, PADSTOW HEIGHTS
Lot A, DP 409706
SHADOW DIAGRAM - 21ST JUN 12PM

JOB NUMBER: 24554	DWG NUMBER: A13.02	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 15.11.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	

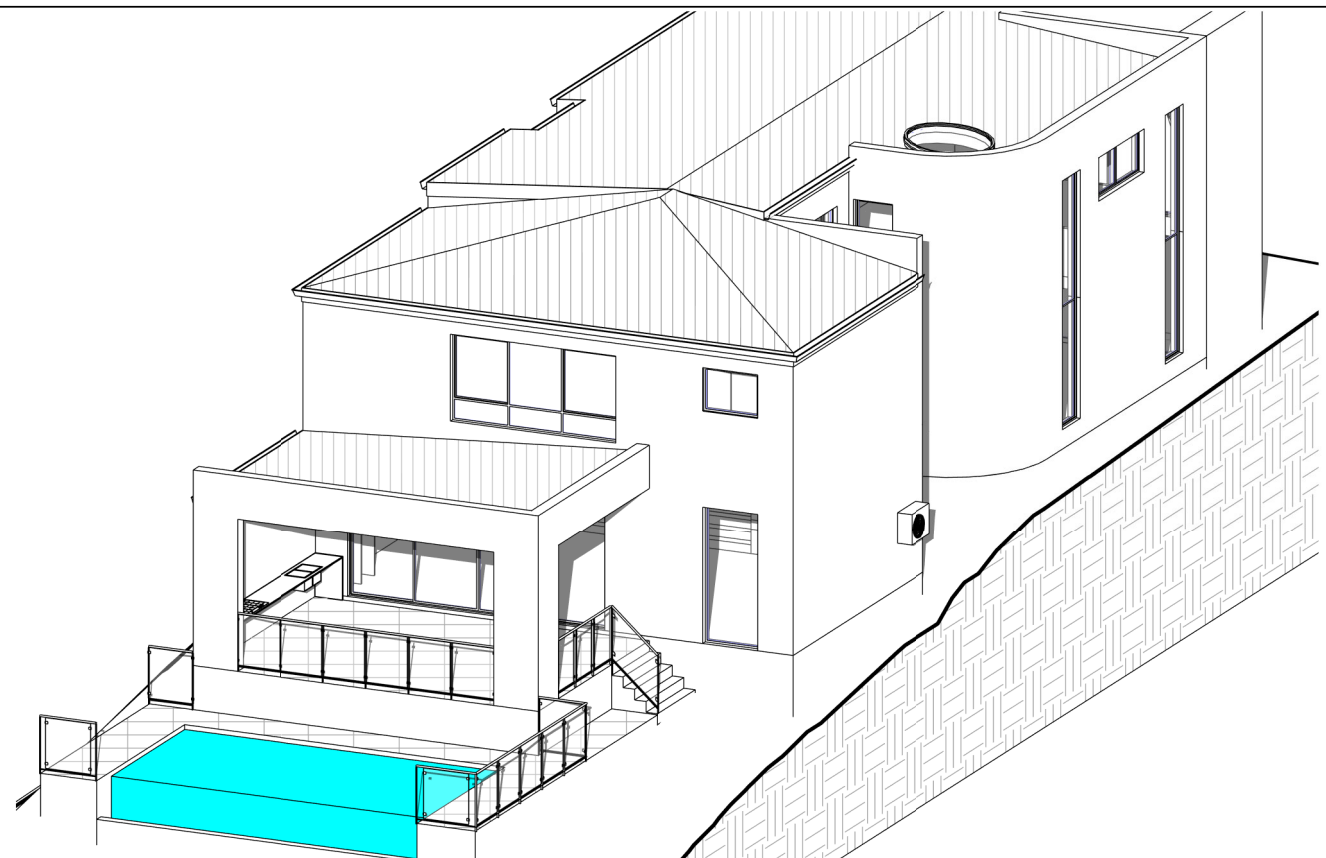


1 SHADOW DIAGRAM - 21ST JUN 4PM
1 : 250

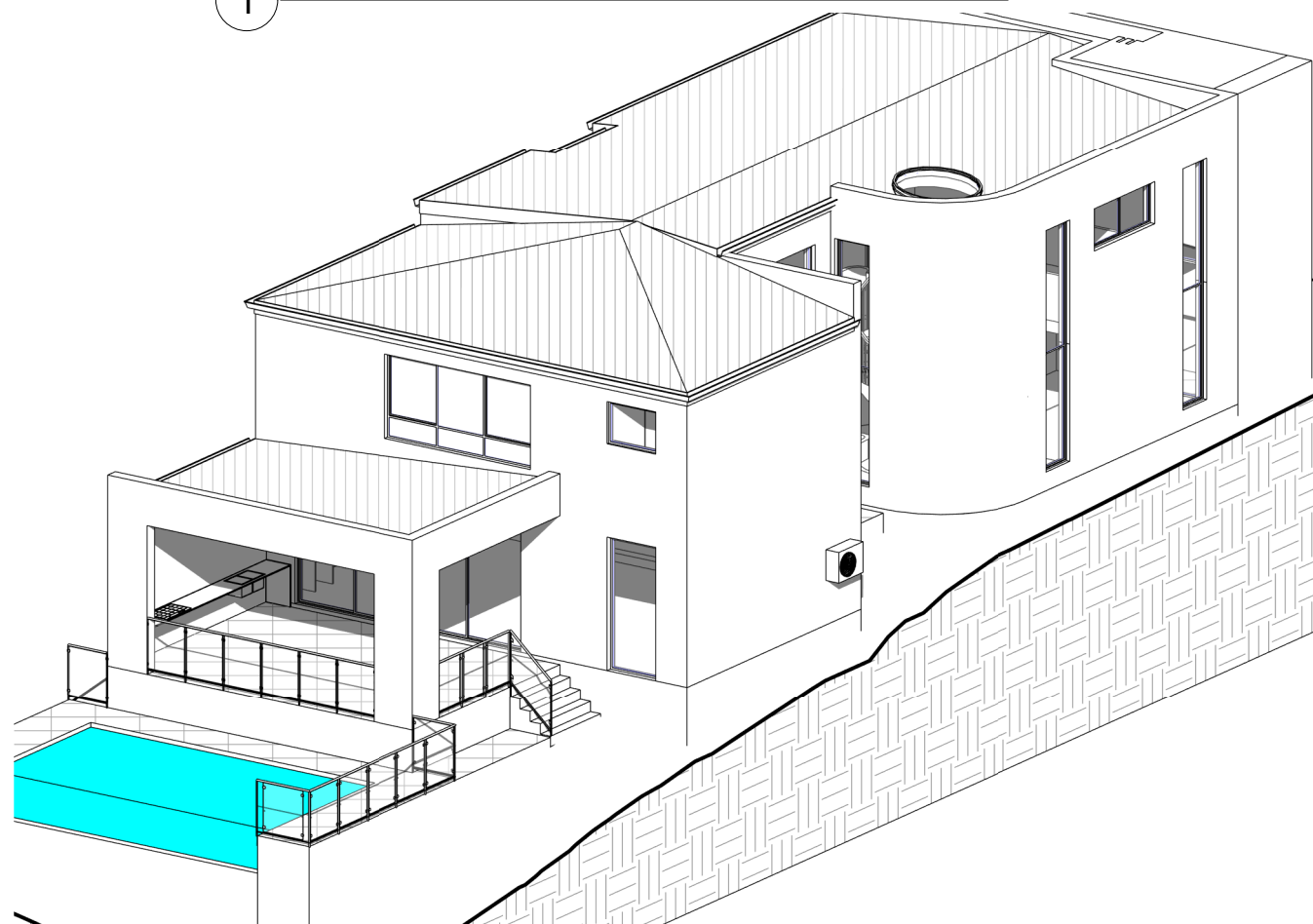
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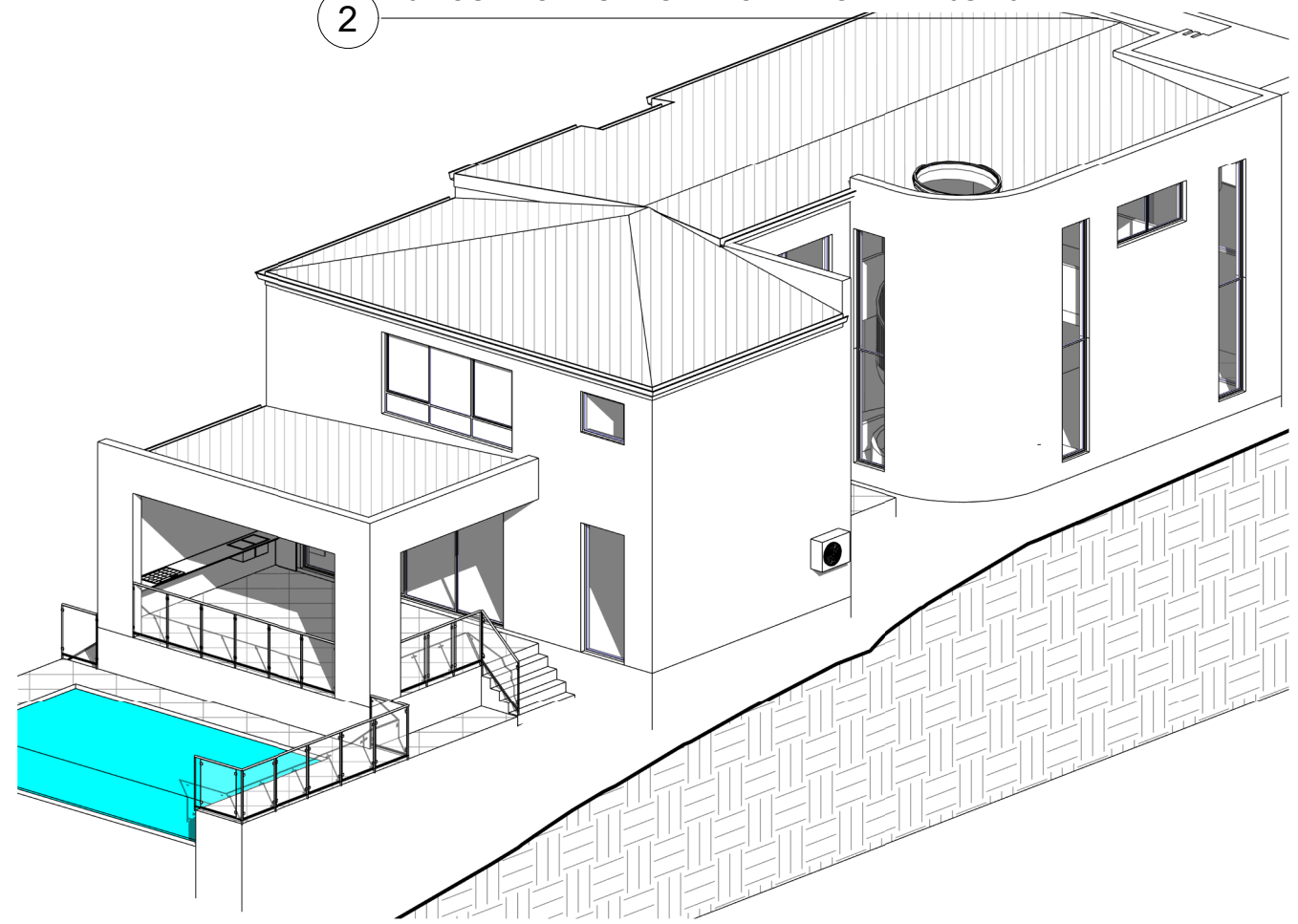
1 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 8AM



2 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 9AM



3 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 10AM



4 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 11AM

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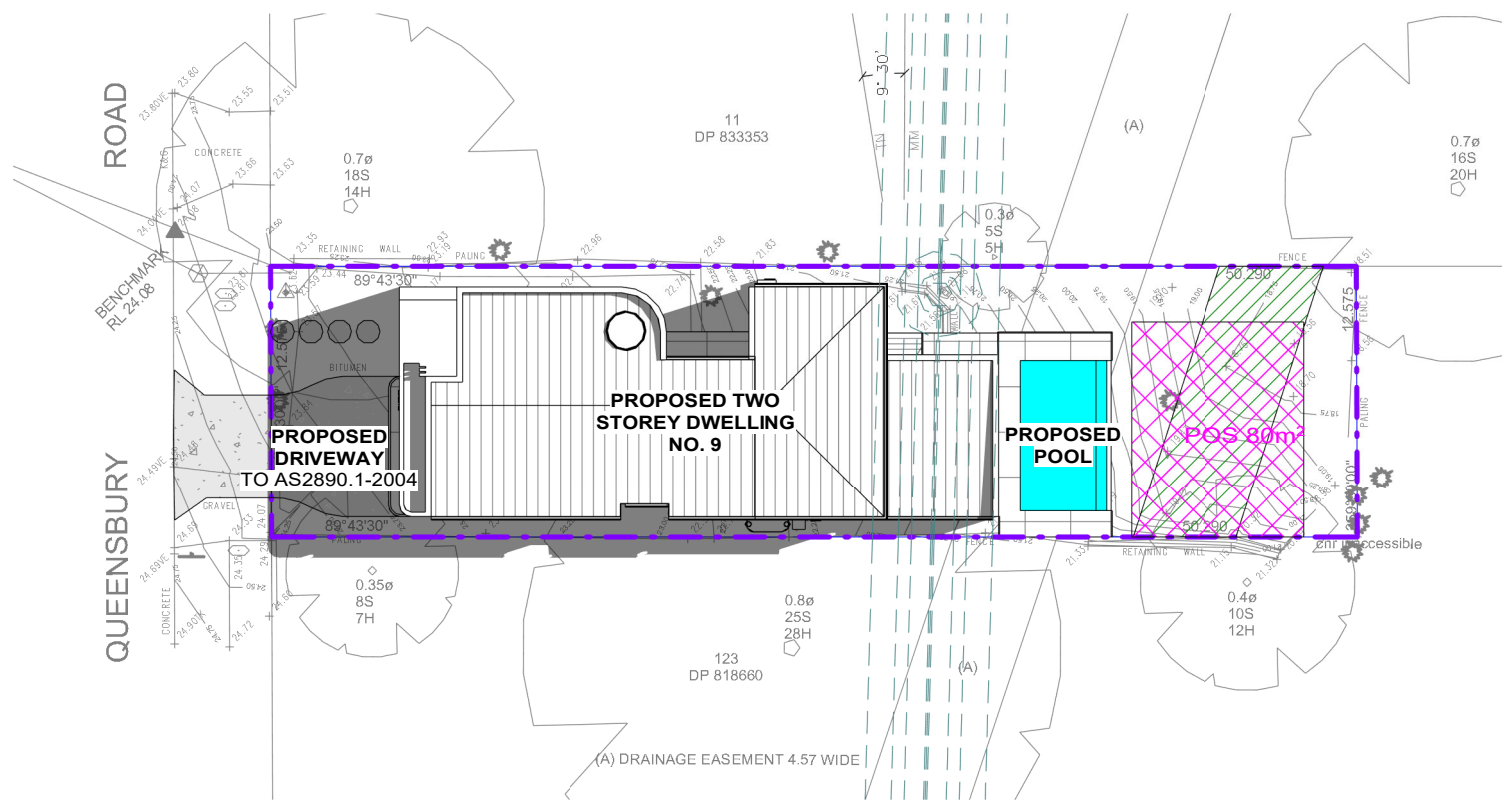
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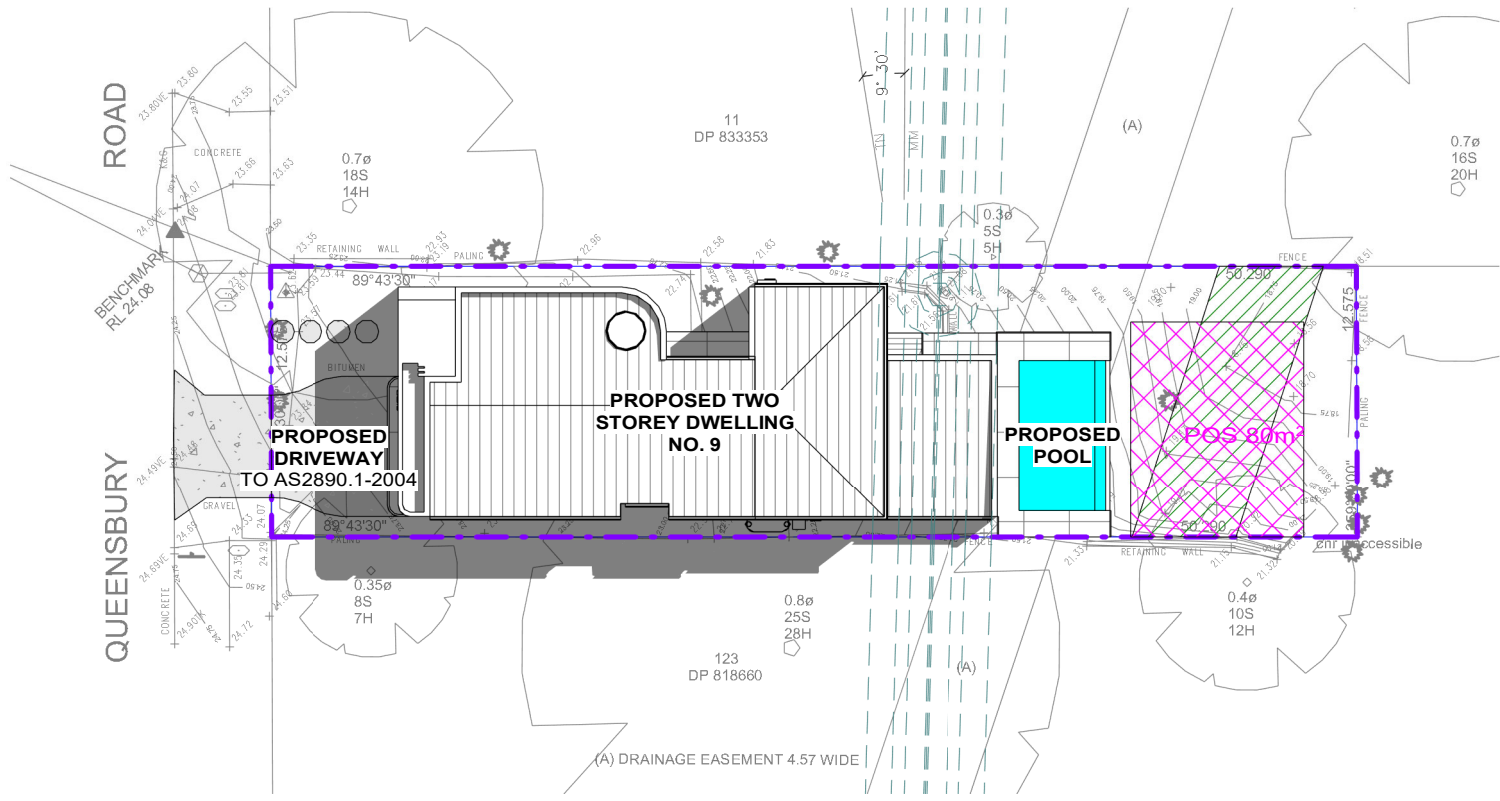
**PROPOSED TWO STOREY DWELLING WITH
POOL**
9 QUEENSBURY ROAD, PADSTOW HEIGHTS
Lot A, DP 409706
**3 HOURS OF SUNLIGHT TO LIVING - 21ST
JUN**

JOB NUMBER: 24554	DWG NUMBER: A13.04	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 15.11.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	

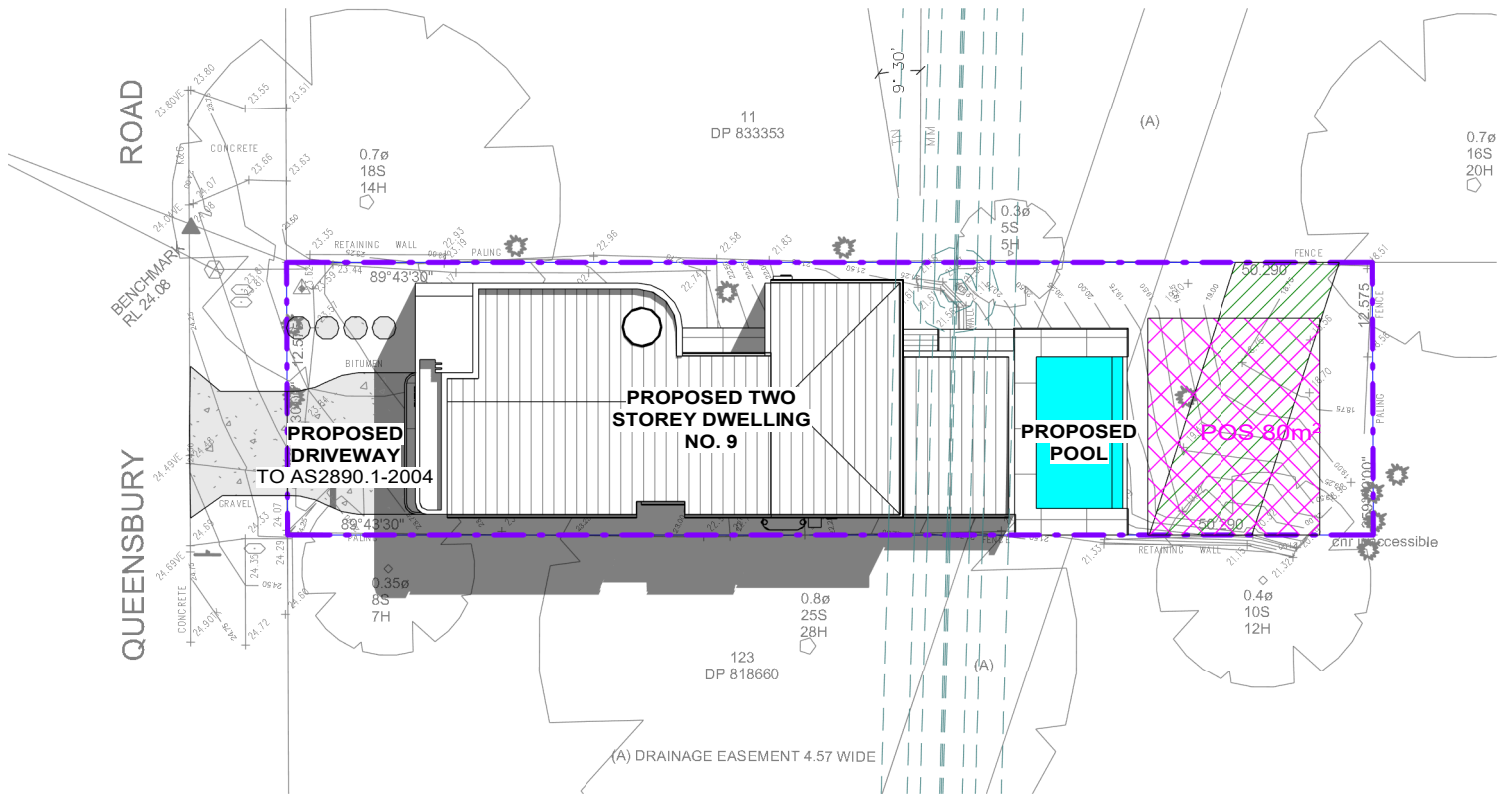
12/03/2025 10:10:05 AM



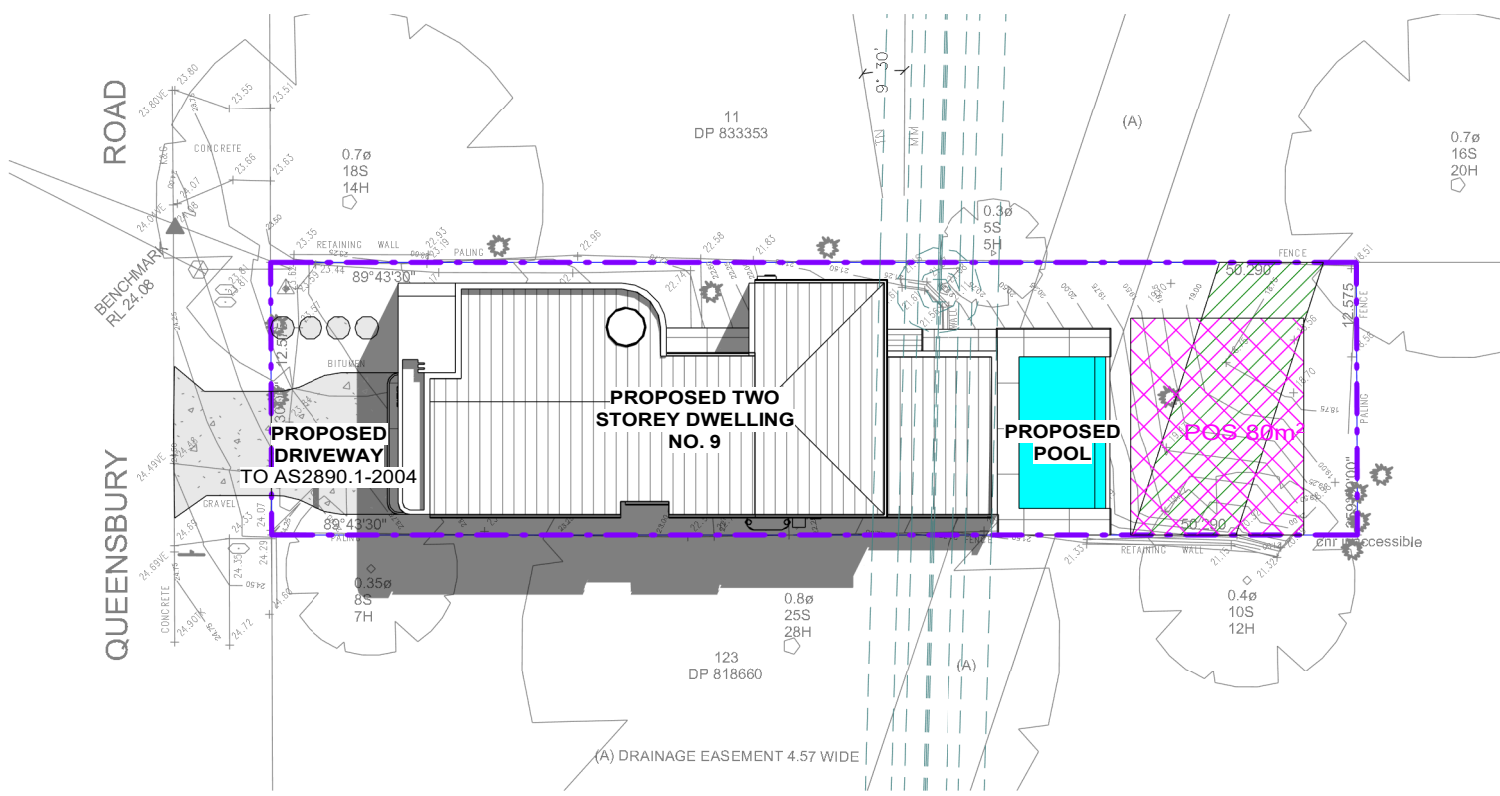
1 SHADOW DIAGRAM TO 50% POS - 20TH MAR 10AM
1 : 350



2 SHADOW DIAGRAM TO 50% POS - 20TH MAR 11AM
1 : 350



3 SHADOW DIAGRAM TO 50% POS - 20TH MAR 12PM
1 : 350



4 SHADOW DIAGRAM TO 50% POS - 20TH MAR 1PM
1 : 350

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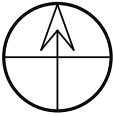
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**PROPOSED TWO STOREY DWELLING WITH
POOL**
9 QUEENSBURY ROAD, PADSTOW HEIGHTS
Lot A, DP 409706
**3 HOURS OF SUNLIGHT TO 50% POS -
20TH MAR**

JOB NUMBER: 24554	DWG NUMBER: A13.05	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 15.11.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	



This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 17 December 2024
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary			
Project name	9 QUEENSBURY ROAD, PADSTOW HEIGHTS		
Street address	9 QUEENSBURY ROAD PADSTOW HEIGHTS 2211		
Local Government Area	Carterbury-Bankstown Council		
Plan type and plan number	Deposited Plan 409706		
Lot no.	A		
Section no.	-		
Project type	dwelling house (detached)		
No. of bedrooms	5		
Project score			
Water	✓ 40	Target 40	
Thermal Performance	✓ Pass	Target Pass	
Energy	✓ 74	Target 72	
Materials	✓ -100	Target n/a	

Certificate Prepared by	
Name / Company Name: NEMCO DESIGN PTY. LTD.	
ABN (if applicable): 46166100505	

Thermal Performance and Materials commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Do-it-yourself Method						
General features						
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.				✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.				✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.				✓	✓	✓
The dwelling must not contain third level habitable attic room.				✓	✓	✓
Floor, walls and ceiling/roof						
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.				✓	✓	✓
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.				✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.						✓

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground, waffle pod slab.	154.6	nil/not specified	nil	
floor - above habitable rooms or mezzanine, plywood frame, laminated veneer lumber (LVL),	134.58	nil/rockwool batts, roll or pump-in	nil	
floor - suspended floor above garage, plywood frame, timber H2 treated softwood.	32.52	nil/rockwool batts, roll or pump-in	nil	

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
W9	2400.00	850.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	none	2-4 m high, 5-6 m away
W18	2650.00	2700.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	none	2-4 m high, 5-6 m away
W19	900.00	2170.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	none	2-4 m high, 5-6 m away
SD2	2400.00	2400.00	aluminium, single glazed (U-value: <=7.5, SHGC: 0.74 - 0.90)	none	2-4 m high, 5-6 m away
East facing					
W5	2100.00	900.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	none	2-4 m high, 5-6 m away
W15	1200.00	2100.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	none	2-4 m high, 5-6 m away
W16	900.00	1200.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	none	2-4 m high, 5-6 m away
SD1	2100.00	2400.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	none	not overshadowed
W7	2100.00	850.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	none	2-4 m high, 5-6 m away
South facing					
W4	900.00	450.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	none	not overshadowed

Legend	
In these commitments, "applicant" means the person carrying out the development.	
Commitments identified with a M in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
Commitments identified with a S in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
Commitments identified with a C in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.	

Description of project

Project address		Assessor details and thermal loads	
Project name	9 QUEENSBURY ROAD, PADSTOW HEIGHTS	Assessor number	n/a
Street address	9 QUEENSBURY ROAD PADSTOW HEIGHTS 2211	Certificate number	n/a
Local Government Area	Carterbury-Bankstown Council	Climate zone	n/a
Plan type and plan number	Deposited Plan 409706	Area adjusted cooling load (MJ/ m²/year)	n/a
Lot no.	A	Area adjusted heating load (MJ/ m²/year)	n/a
Section no.	-	Project score	
Project type		Water	✓ 40 Target 40
Project type	dwelling house (detached)	Thermal Performance	✓ Pass Target Pass
No. of bedrooms	5	Energy	✓ 74 Target 72
Site details		Materials	✓ -100 Target n/a
Site area (m²)	652		
Roof area (m²)	239		
Conditioned floor area (m²)	295.0		
Unconditioned floor area (m²)	28.7		
Total area of garden and lawn (m²)	100		
Roof area of the existing dwelling (m²)	0		

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
garage floor - concrete slab on ground, waffle pod slab.	37.4	polystyrene	nil	
external wall: brick veneer, frame: timber - H2 treated softwood.	186.81	2.94 (or 3.50 including construction)/rockwool batts, roll or pump-in + reflective foil in the cavity	nil	wall colour: Medium (solar absorptance 0.48-0.7)
external wall: cavity brick, frame: no frame.	144.61	0.50 (or 1.20 including construction)/rockwool batts, roll or pump-in + reflective foil in the cavity	nil	wall colour: Medium (solar absorptance 0.48-0.7)
external garage wall: cavity brick, frame: no frame.	31.5	rockwool batts, roll or pump-in + reflective foil in the cavity	nil	
internal wall shared with garage: single skin masonry, frame: no frame.	24.98	nil/rockwool batts, roll or pump-in	nil	
internal wall: single skin masonry, frame: no frame.	78.57	rockwool batts, roll or pump-in	nil	
internal wall: plasterboard, frame: timber - H2 treated softwood.	170.78	rockwool batts, roll or pump-in	nil	
ceiling and roof - flat ceiling / pitched roof, framed - metal roof, laminated veneer lumber (LVL).	64.94	ceiling: 5.7 (up), roof: foil sarking, ceiling: rockwool batts, roll or pump-in; roof: foil/sarking.	nil	roof space ventilation: wind-driven ventilator(s) + eave vents, roof colour: medium (solar absorptance 0.48-0.59), 0.5 to 1.0% of ceiling area uninsulated
ceiling and roof - flat ceiling / flat roof, framed - metal roof, laminated veneer lumber (LVL).	169.4	ceiling: 5.7 (up), roof: foil sarking, ceiling: rockwool batts, roll or pump-in; roof: foil/sarking.	nil	roof colour: medium (solar absorptance 0.48-0.59), 0.5 to 1.0% of ceiling area uninsulated

Note	• Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.
Note	• If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (6)) of the National Construction Code.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.
Note	• Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
W20	750.00	1810.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	none	not overshadowed
W3	900.00	450.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	none	not overshadowed
W11	600.00	850.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	none	not overshadowed
W13	600.00	850.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	none	not overshadowed
W14	900.00	2170.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	none	not overshadowed
West facing					
W1	2100.00	1200.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	eave 450 mm, 300 mm above head of window or glazed door	2-4 m high, 5-6 m away
W17	900.00	1200.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	eave 450 mm, 300 mm above head of window or glazed door	2-4 m high, 5-6 m away

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures						
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.				✓	✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.				✓	✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.				✓	✓	✓
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.				✓	✓	✓
Alternative water						
Rainwater tank						
The applicant must install a rainwater tank of at least 1500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.				✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 239.34 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).				✓	✓	✓
The applicant must connect the rainwater tank to: • all toilets in the development					✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)					✓	✓
Swimming Pool						
The swimming pool must not have a volume greater than 40 kilolitres.				✓	✓	

Thermal Performance and Materials commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Ceiling fans						
The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.				✓	✓	✓
• The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code.				✓	✓	✓

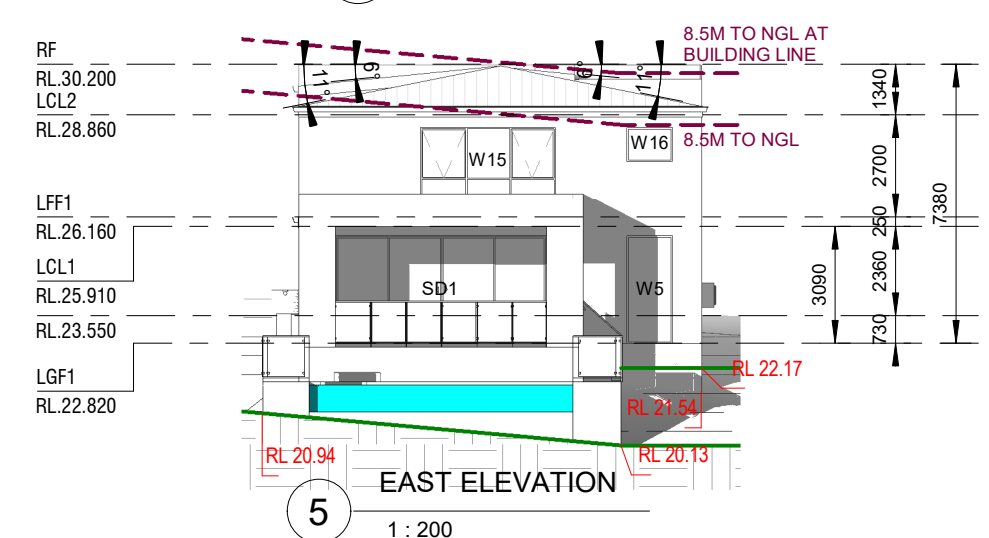
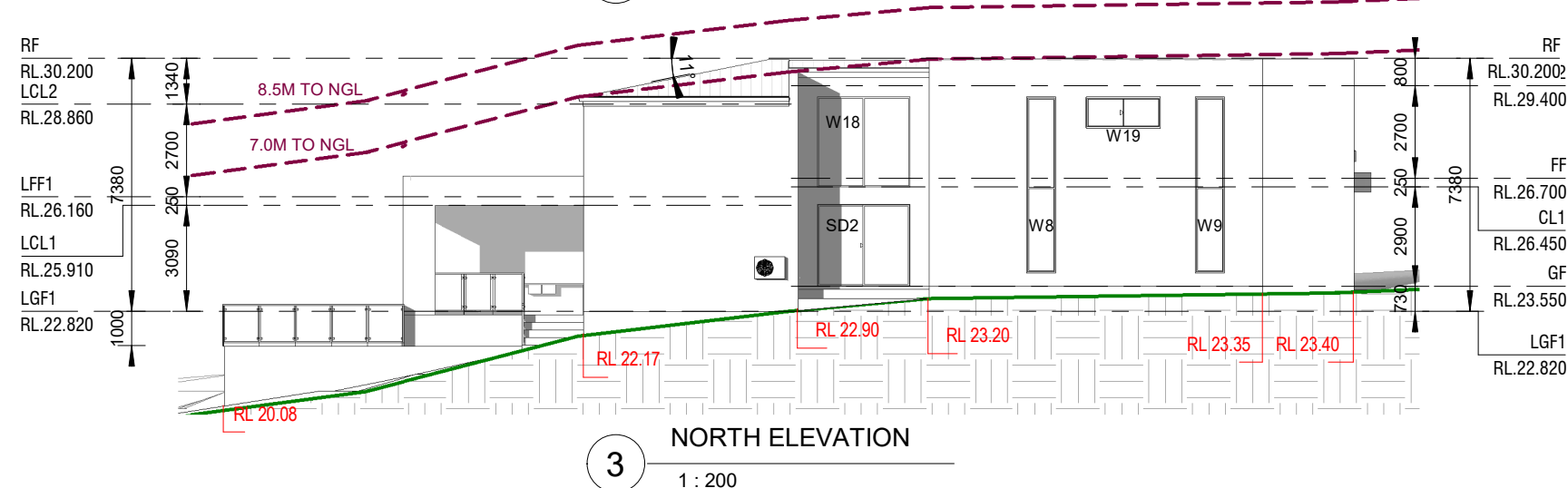
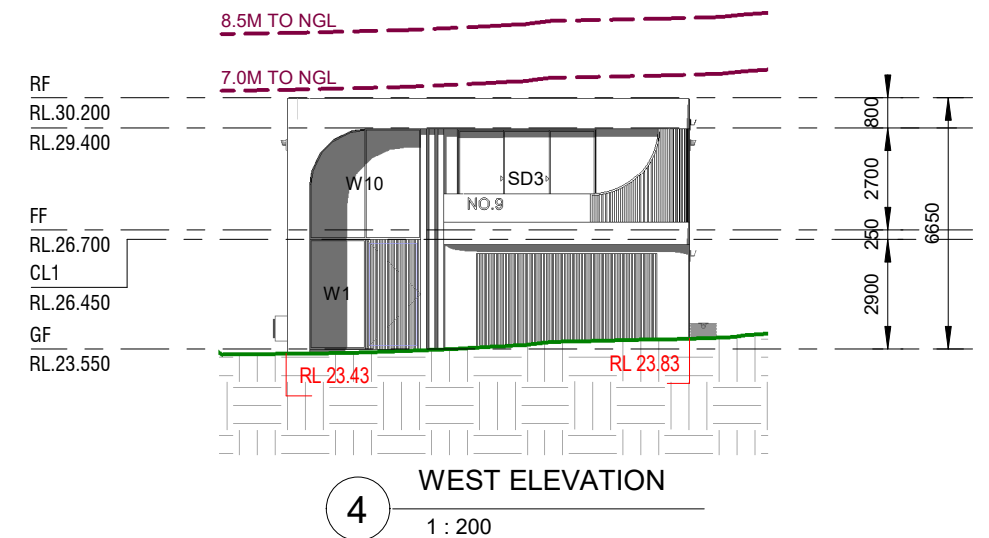
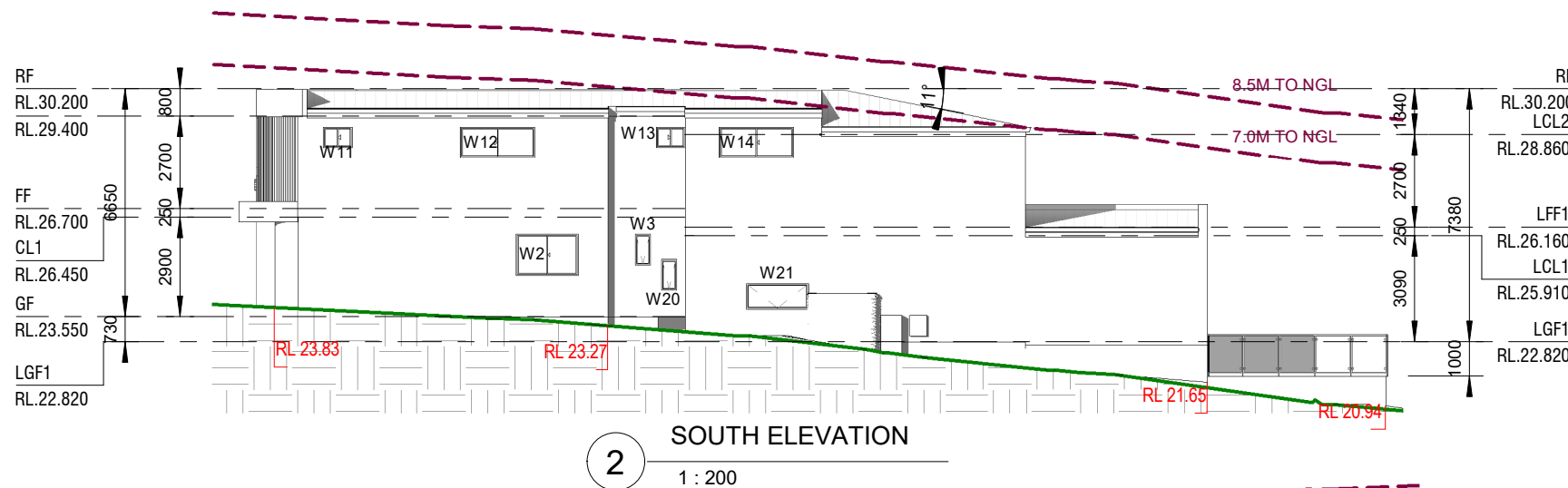
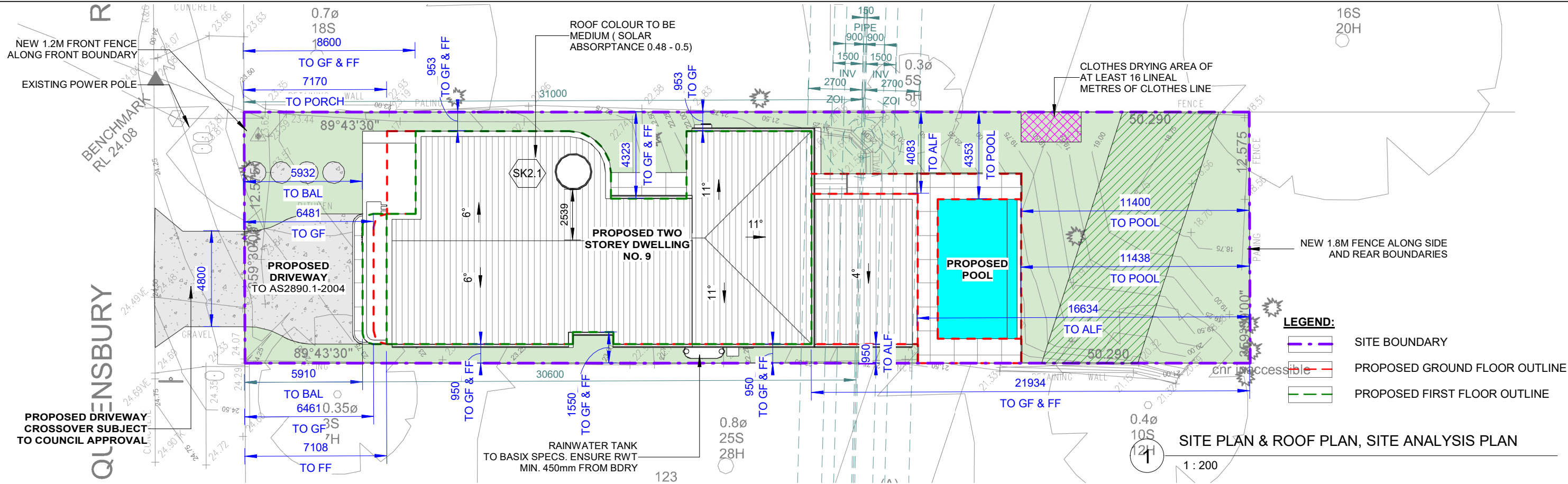
Energy Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water						
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric boosted solar with a performance of 31 to 35 STCs or better.				✓	✓	✓
Cooling system						
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 4.5 Star (old label)				✓	✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 4.5 Star (old label)				✓	✓	✓
Heating system						
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 4.5 Star (old label)				✓	✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 4.5 Star (old label)				✓	✓	✓
Ventilation						
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to facade or roof; Operation control: manual switch on/off					✓	✓
Kitchen: individual fan, open to facade; Operation control: manual switch on/off					✓	✓
Laundry: individual fan, ducted to facade or roof; Operation control: manual switch on/off					✓	✓
Artificial lighting						
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.				✓	✓	✓
Natural lighting						
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.				✓	✓	✓

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The swimming pool must have a pool cover.		✓	✓
The swimming pool must be shaded.	✓	✓	
The swimming pool must be outdoors.	✓	✓	

Thermal Performance and Materials commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazed windows, doors and skylights						
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.				✓	✓	✓
The dwelling may have 1 skylight (>0.7 square metres) which is not listed in the table.				✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:				✓	✓	✓
• The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.				✓	✓	✓
• Each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.				✓	✓	✓
• Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the overshadowing column.				✓	✓	✓
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).				✓	✓	✓

Skylight no.	Maximum area (m²)	Skylight specification	Shading device
SK2.1	2.54	aluminium, single clear (U- <=7.3, SHGC: 0.75 - 0.83)	no shading

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
North facing					
W8	2400.00	850.00	aluminium, single glazed (U-value: <=0.9, SHGC: 0.60 - 0.74)	none	2-4 m high, 5-6 m away



REV	DATE	DESCRIPTION	BY
A	13.12.2024	ISSUED FOR DA	DK

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**PROPOSED TWO STOREY DWELLING WITH
POOL**
9 QUEENSBURY ROAD, PADSTOW HEIGHTS
Lot A, DP 409706
NOTIFICATION PLANS

JOB NUMBER: 24554	DWG NUMBER: A15	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 15.11.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	